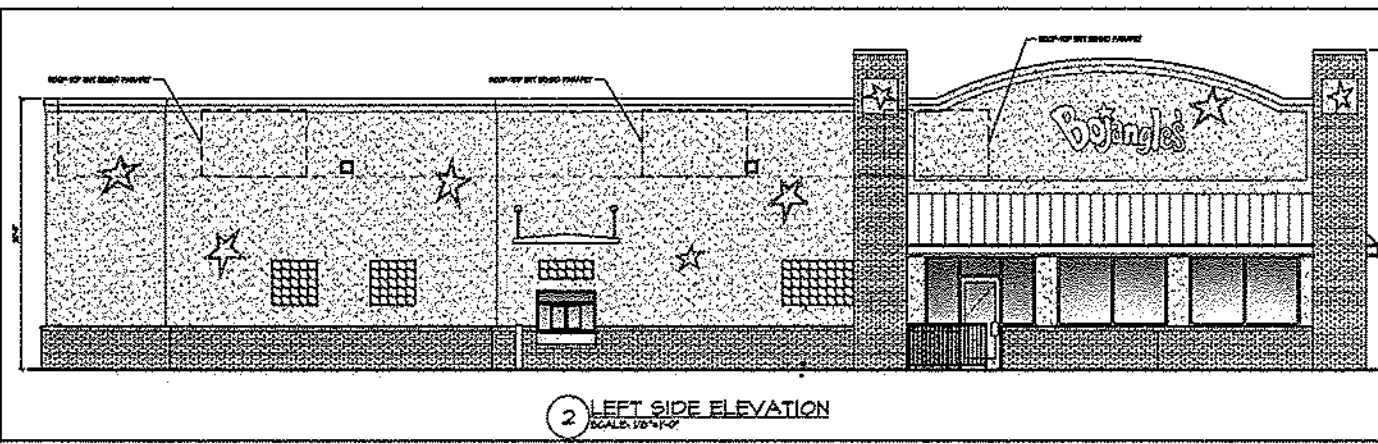


SITE PLANS and PROFILES of COLLEGE ROAD SITE



CITY OF WILMINGTON, NEW HANOVER CO. NORTH CAROLINA
DATE: MARCH 2015



ELEVATION VIEWS

Views - NTS



CITY STANDARD NOTES:

- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION EQUIPMENT, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ANY TREES AND / OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
- NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING TO REQUEST INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- CONTACT TRAFFIC ENGINEERING AT 341-7889 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
- CALL TRAFFIC ENGINEERING AT 341-7889 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
- TRAFFIC WARNING SIGNS ARE TO BE INSTALLED ON AND AROUND DUMPSTERS.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. IN CERTAIN CASES ENTIRE RESURFACING OF THE OPEN CUT AREA MAY BE REQUIRED.
- ANY BROKEN OR MISSING SIDEWALK OR DRIVEWAY PANELS OR CURBING WILL BE REPLACED.
- CONTACT THE CITY AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
- PROJECT SHALL COMPLY WITH CAPE FEAR PUBLIC UTILITY AUTHORITY CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX. ANY IRRIGATION SYSTEM SUPPLIED BY CFPUA WATER SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REGULATIONS. CALL 343-3910 FOR INFORMATION.
- ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCCOCHR OR ASSE.
- CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
- CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- UNDERGROUND FIRE LINES MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0896.
- NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE.
- CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO ANY DIGGING, CLEARING OR GRADING.
- ANY PVC MAINS ARE TO BE MARKED WITH NO.10 INSULATED COPPER WIRE INSTALLED THE ENTIRE LENGTH AND STAPPED TO THE PIPE WITH DUCT TAPE, AND STRIPPED TO BARE WIRE AND SECURED TO ALL VALVES AND FITTINGS, ACCESSIBLE IN ALL VALVE AND METER BOXES. ALL WATER MAINS ARE TO HAVE A MINIMUM OF 3' COVER.
- PROPOSED SEWER & WATER USAGE SAME AS EXISTING

LEGEND

- WV = WATER VALVE
WM = WATER METER
C/O = SANITARY SEWER CLEAN OUT
INV. = INVERT
BFP = BACK FLOW PREVENTOR
GW = GUY WIRE
SMWH = STORM MANHOLE
GT. = GREASE TRAP
FH = FIRE HYDRANT
I.S. = IRON SET
S = SANITARY SEWER MANHOLE
C = CURB INLET
T = TREE
B = BUILDING SETBACK
S = STREET LIGHT
W = WATER SERVICE
SC = SEWER CLEANOUT
V = WATER VALVE
- PROPERTY LINE
BUILDING SETBACK
CENTERLINE
EASEMENT
COMPUTED PROPERTY LINE

SURVEY NOTES:

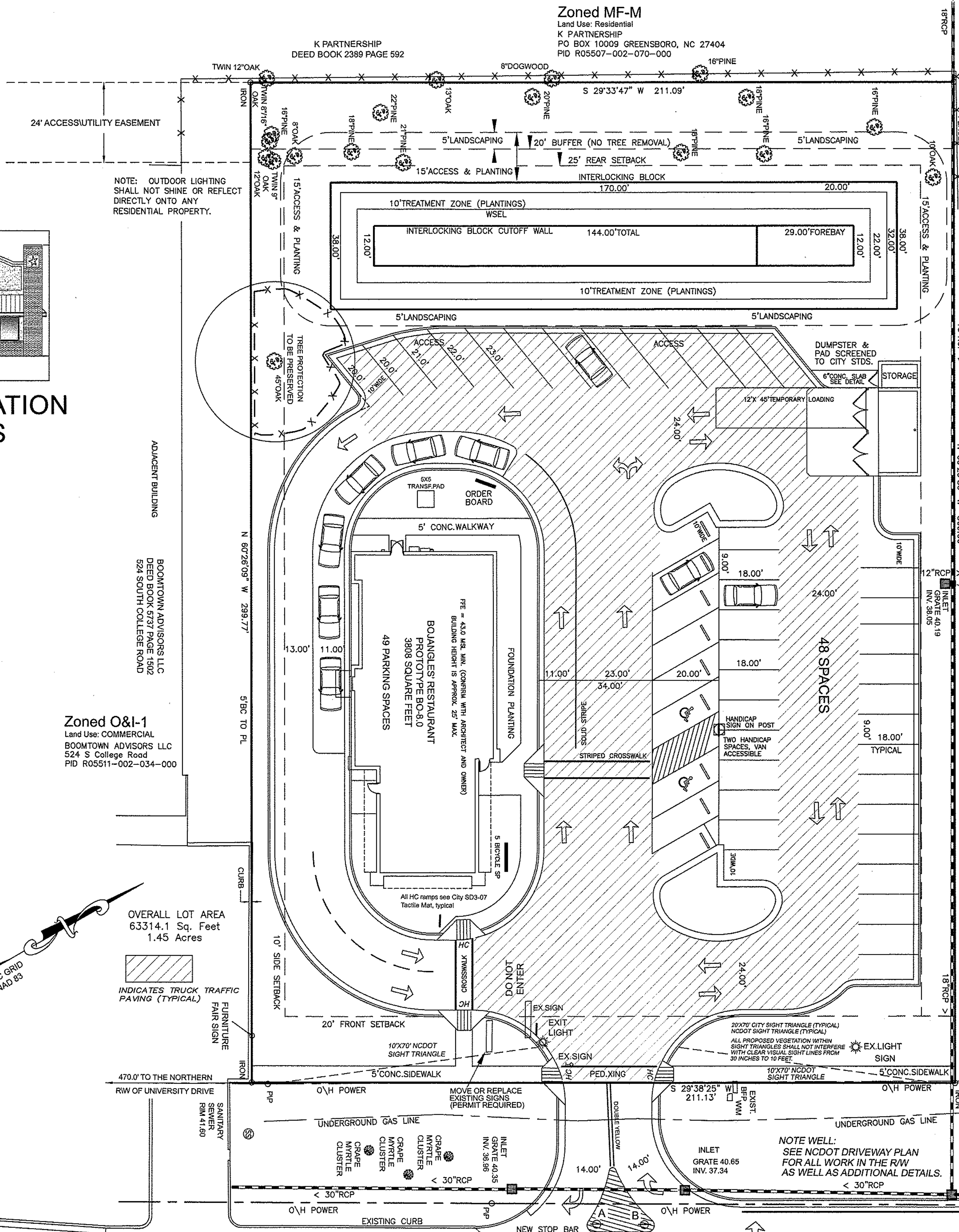
- AREA COMPUTED BY COORDINATE METHOD
- ALL DISTANCES ARE HORIZONTAL GROUND
- THIS SURVEY IS NOT FOR RECORDATION, IT DOES NOT MEET ALL REQUIREMENTS OF G.S. 47-30.
- PROPERTY SUBJECT TO ALL EASEMENTS OF RECORD
- THE UNDERGROUND UTILITIES SHOWN ON THIS SURVEY ARE LOCATED FROM FIELD SURVEY INFORMATION, AND EXISTING ASBUILT DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THE UTILITIES ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- FOR REFERENCE SEE AS NOTED
- THIS TRACT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA

Zoned O&I-1

Land Use: Institutional
STATE OF NORTH CAROLINA, UNCW
116 W Jones St, Raleigh, NC 27602
PID R05511-003-001-000

Zoned MF-M

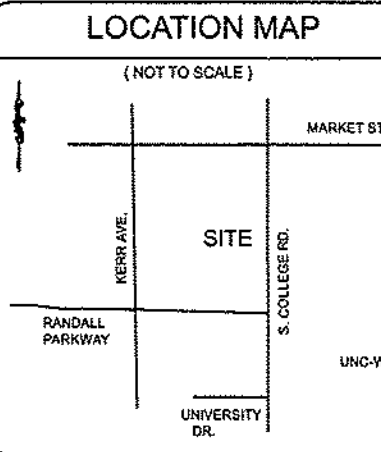
Land Use: Residential
K PARTNERSHIP
P.O. BOX 10009 GREENSBORO, NC 27404
PID R05507-002-070-000



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

STORMWATER MANAGEMENT PLAN APPROVED CITY OF WILMINGTON ENGINEERING DEPARTMENT DATE PERMIT # SIGNED

Approved Construction Plan	
Name	Date
Planning	
Traffic	
Fire	



GENERAL NOTES:

- This map is not for conveyance, recordation, or sales.
- This property is located within a special flood hazard area X according to Flood Insurance Rate Map Community Panel #372031374, effective date April 3, 2006.
- Area = 1.45 acres
- Building layout and dimensions by others.
- This property is zoned City of Wilmington O&I-1. Building setbacks are as follows:
20' from College Road Right-of-Way
10' from Interior Side
25' from Rear (residential)
- Handicap Ramps provided at all intersections and one per building.
- 15 suitable trees per acre are to be preserved or planted in accordance with City of Wilmington standards.
- Parking areas and streets to be lighted in accordance with City of Wilmington standards.
- Refuse collection by dumpster and private hauler.
- NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NO ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION. 1-800-632-4949
- Affected Non-Municipal Utilities shall be contacted and provided with plans and other pertinent information, when feasible, to coordinate scheduling and placement. At the minimum this should include AT&T and Duke (Progress) Energy.
- Project shall comply with CFPUA Cross Connection Control requirements. Water meter(s) cannot be released until all requirements are met.
- If the contractor desires CFPUA water for construction he shall apply in advance for this service and must provide a reduced pressure zone (RPZ) backflow prevention device on the developer's side of the water meter box.
- No geotechnical testing has been performed on site. No warranty is made for suitability of subgrade, and undercut and any required replacement with suitable material shall be the responsibility of the contractor.
- Reflectors shall be installed as per City and NCDOT standards.

STANDARD NOTES:

- Information concerning underground utilities was obtained from available records. It shall be the responsibility of the Contractor to determine the exact elevations and locations of all existing utilities at all crossings prior to commencing trench excavation. If actual clearances are less than indicated on Plan, the Contractor shall contact the Design Engineer before proceeding with construction. Any condition discovered or existing that would necessitate a modification of these plans shall be brought to the attention of the Design Engineer before proceeding with construction.
- NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NO ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION.
- All trees which are not required to be cleared for construction shall be preserved wherever possible unless otherwise directed.
- Contractor shall adjust all manholes, valve and curb boxes to the final grade upon completion of all construction. Any boxes damaged or otherwise disturbed by the Contractor shall be repaired at the expense of the Contractor.
- The Contractor is responsible for controlling dust and erosion during construction at his expense. Roads shall be watered to control dust when ordered by the Engineer.
- No geotechnical testing has been performed on site. No warranty is made for suitability of subgrade, and undercut and any required replacement with suitable material shall be the responsibility of the contractor.
- Extreme care shall be taken to ensure minimum separations at all utility crossings.
- Contractor to ensure that pavement is placed so as to drain positively to the curb outlets and catch basins. All roof drain downspouts to be directed to the storm sewer system.
- Contractor is responsible for obtaining all required permits.
- This plan is for site grading, roadwork, drainage, land disturbing activities and erosion control only.
- No encumbrances in R/W except as shown.
- Affected Non-Municipal Utilities shall be contacted and provided with plans and other pertinent information, when feasible, to coordinate appropriate scheduling and placement. At the minimum this should include AT&T and Duke (Progress) Energy.

ADDITIONAL NOTES:

- AS PART OF SITE IMPROVEMENTS FOR A SUBDIVISION OR SITE PLAN, ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS, AND/OR CURBING ADJACENT TO THE PROJECT AREA SHALL BE REPLACED BY THE DEVELOPER. THIS SHALL BE REQUIRED WHETHER THE DAMAGE EXISTED PRIOR TO THE START OF CONSTRUCTION OR MAY HAVE BEEN CAUSED DURING CONSTRUCTION.
- PER THE REQUIREMENTS OF THE STORMWATER PERMIT, THE FOLLOWING SHALL OCCUR PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR OPERATION OF THE PERMITTED FACILITY:
* AS-BUILT DRAWINGS FOR ALL STORMWATER MANAGEMENT FACILITIES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON ENGINEERING DIVISION.
* AN ENGINEER'S CERTIFICATION SHALL ALSO BE SUBMITTED, ALONG WITH ALL SUPPORTING DOCUMENTATION THAT SPECIFIES, UNDER SEAL, THAT THE AS-BUILT STORMWATER MEASURES, CONTROLS AND DEVICES ARE IN COMPLIANCE WITH THE APPROVED STORMWATER MANAGEMENT PLANS.
* A FINAL INSPECTION BY CITY OF WILMINGTON ENGINEERING PERSONNEL.
- ALL REQUIRED EASEMENT MAPS SHALL BE REVIEWED BY CITY STAFF AND RECORDED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

OTHER NOTES:

- THIS PLAN IS PRELIMINARY, NOT INTENDED FOR RECORDATION, SALES, OR CONVEYANCE.
- SURVEYED IN 2013, and 2014.
- ALL DISTANCES AS SHOWN ARE HORIZONTAL.
- SEWER PROVIDED BY CFPUA
- WATER PROVIDED BY CFPUA. ANTICIPATED UTILITIES USE IS UNCHANGED.
- SITE WILL MEET ALL ZONING REQUIREMENTS.
- AREA COMPUTED BY COORDINATE METHOD.
- REGULATED TREES ON SITE TO BE PRESERVED AS SHOWN.
- STRIPING AND LANES TO CITY STANDARDS (THERMOPLASTIC).
- NO VEHICULAR ACCESS TO SITE EXCEPT AS SHOWN.
- ALL UTILITIES UNDERGROUND.
- COMBINED GRID FACTOR = 1.00000.
- FOR REFERENCE SEE:
DB 1991 PG 087
- ONE SIGNIFICANT TREE ON SITE TO BE PRESERVED.

- REGULATED TREES TO BE REMOVED ARE FOR ESSENTIAL SITE IMPROVEMENTS. NO REGULATED TREES ARE LOCATED IN EXCESS PARKING AREAS.
- LANDSCAPING PLAN BY OTHERS.
- CONTRACTOR TO COORDINATE STAGING OF CONSTRUCTION ACTIVITIES WITH THE OWNER AND ARCHITECT TO FACILITATE ONGOING ADJOINING BUSINESS ACTIVITIES.
- CONTRACTOR TO COORDINATE REMOVAL AND RELOCATION OF LIGHTING AND OTHER NON-MUNICIPAL UTILITIES SUCH AS ELECTRICAL AND TELEPHONE CONNECTIONS WITH THE AFFECTED AGENCIES AND THE OWNER AND ARCHITECT.
- CONTRACTOR TO COORDINATE CONSTRUCTION OF PARKING LOT, ISLANDS, AND EXTERIOR FENCING AND SCREENING WITH THE OWNER AND ARCHITECT.
- NCDOT PERMIT REQUIRED FOR ANY WORK IN COLLEGE ROAD R/W.
- ALL SERVICES TO BE INSTALLED IN ACCORDANCE WITH CITY AND CFPUA TECHNICAL STANDARDS.

INDEX TO SET DRAWINGS

SHEET No.	DESCRIPTION	DRAWING No.
1 OF 4	Site Plan Cover Sheet and General Notes	12354-SHT1
2 OF 4	Site & Utilities Plan	12354-SHT2
3 OF 4	Site Grading, Stormwater & Erosion Control Measures	12354-SHT3
4 OF 4	Details, Specifications and Notes	12354-SHT4
1 OF 1	Additional Bojangles' Standard Details & Dumpster Plans	BOJANGLES'
1 OF 1	Landscape Plan by Freeman Landscape Inc.	Freeman
1 & 2 OF 2	NCDOT Driveway Plan	12354-SHT 1 & 2 of 2
1 OF 1	Existing Conditions and Tree Identification Survey	12354-Survey BASE
1 & 2 OF 2	Construction Staging and Demolition Plan	12354-SHT5 & 6

BENCHMARK LOCATIONS AND ELEVATIONS

LOCATION:	ELEVATION
1 MAGNETIC NAIL AT SOUTHERNMOST CORNER EXISTING DUMPSTER ENCLOSURE	40.49

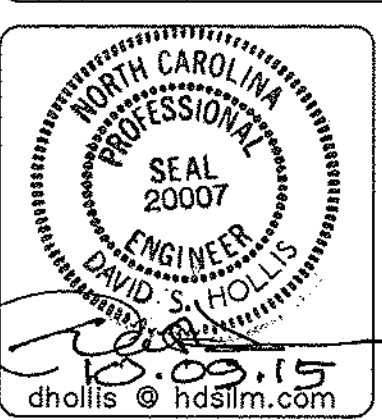
Zoned O&I-1

Land Use: Church
CHURCH OF JESUS CHRIST OF WILMINGTON
514 S College Road
PID R05507-002-071-000

ZONED: O&I-1
ADDRESS: 520 S College Road
DEVELOPER: Bojangles Restaurants, Inc. 9432 Southern Pines Blvd. Charlotte, NC 27273 704-940-8669
PARCEL ID: R05507-002-069-000
OWNER: Cajun Properties Inc. 9432 Southern Pines Blvd. Charlotte, NC 28273 704-940-8669

REV. NO.	REVISIONS	DATE
3	MAJOR REVISION TO DRIVEWAY & DOT R/W	10-09-15
2	REVISIONS AS PER REVIEW COMMENTS	9-15-15
1	MAJOR REVISION TO DRIVEWAY & DOT R/W	8-07-15

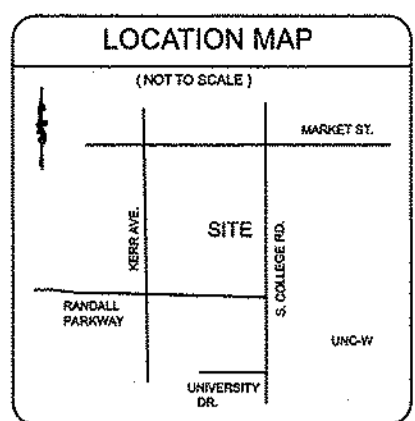
Site Plan Cover Sheet and General Notes
BOJANGLES'
520 South College Road
LOCATED IN CITY OF WILMINGTON



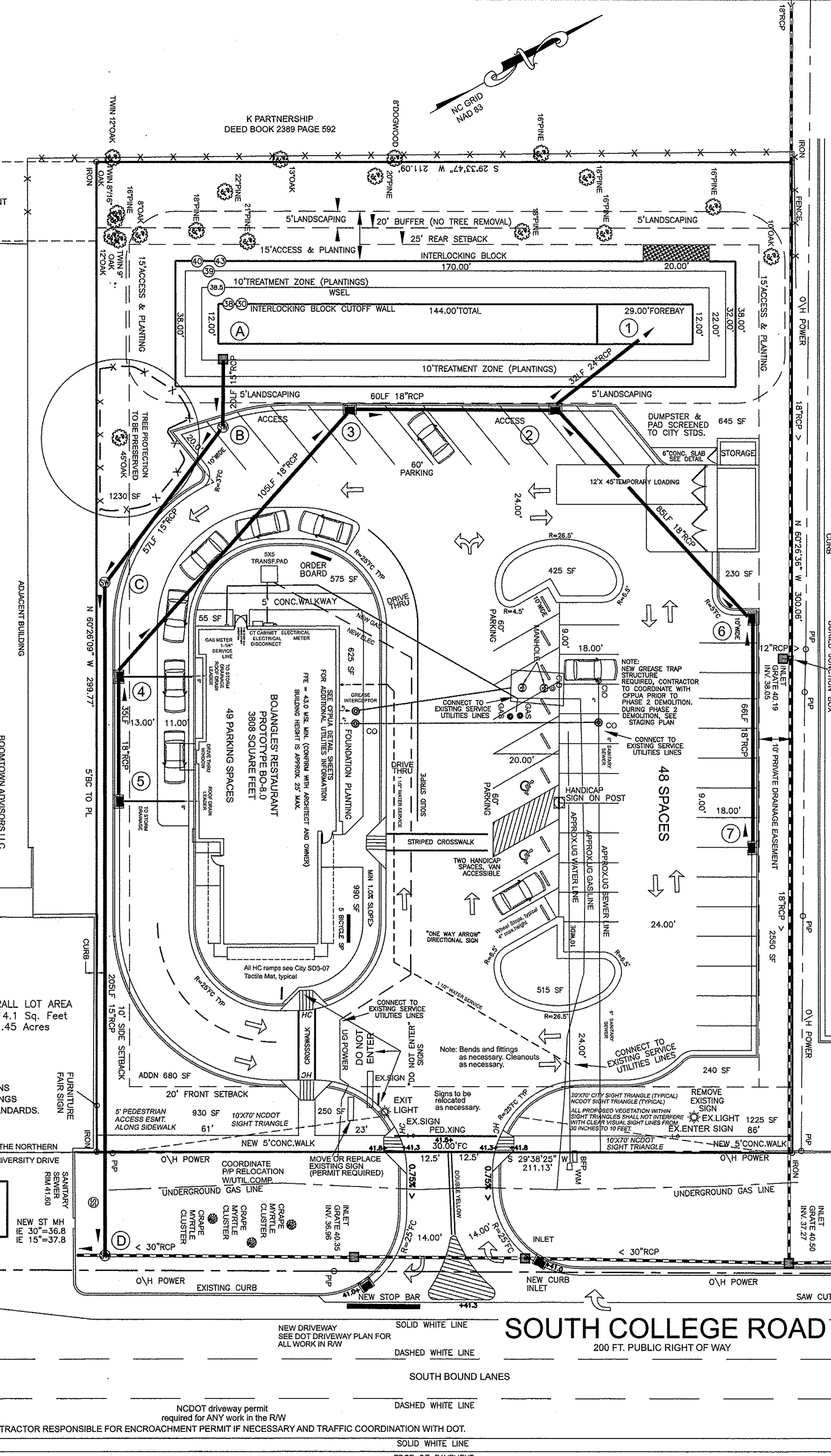
DEVELOPER: BOJANGLES' RESTAURANTS INC. 9432 SOUTHERN PINES BLVD. CHARLOTTE, NC 28273 phone: 704-940-8669

HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS, ENGINEERS & LAND PLANNERS
1122 FLORAL PARKWAY WILMINGTON, NC 28403 PHONE: (910) 343-8002 LICENSE: # C-0597

Date: 3-12-15
Scale: 1" = 20'
Drawn: DSH
Checked: DSH
Project No: 12354
Sheet No: 1
Of: 4



- LEGEND**
- WV = WATER VALVE
 - WM = WATER METER
 - CIO = SANITARY SEWER CLEAN OUT
 - INV = INVERT
 - BFP = BACK FLOW PREVENTOR
 - GIW = GUY WIRE
 - SMWH = STORM MANHOLE
 - GT = GREASE TRAP
 - FH = FIRE HYDRANT
 - IS = IRON SET
 - SS = SANITARY SEWER MANHOLE
 - CI = CURB INLET
 - T = TREE
 - SL = STREET LIGHT
 - W = WATER SERVICE
 - SC = SEWER CLEANOUT
 - WV = WATER VALVE
- PROPERTY LINE**
- BUILDING SETBACK
 - CENTERLINE
 - EASEMENT
 - COMPUTED PROPERTY LINE
 - 18" PALM INDICATES TREE TO BE REMOVED



Parking: "Restaurant"
 3185 sf exclusive of kitchen and restroom
 49 spaces maximum @ 1/65sf
 40 spaces minimum @ 1/80sf
 46 regular spaces provided
 2 van accessible HC spaces provided
 No loading space required - one provided
 5 bicycle spaces required - 5 provided

NOTE: NO WETLANDS ON THIS SITE. CAMA LAND USE CLASSIFICATION: "URBAN" SITE NOT IN A SHOD OR COD. APPROXIMATE TIME TO COMPLETION: UNDER 1 YEAR.

PAVEMENT MARKING
 ARROWS MUST BE AT LEAST 1/2 SIZE STANDARD ROADWAY ARROWS AS PER CITY TECH.STDS.

TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS
 AS PER CITY AND NCDOT STANDARDS.

ONE SIGNIFICANT TREE ON SITE TO BE PRESERVED. REGULATED TREES TO BE REMOVED ARE FOR ESSENTIAL SITE IMPROVEMENTS. NO REGULATED TREES ARE LOCATED IN EXCESS PARKING AREAS.

NOTE: DETAILED LANDSCAPING PLAN TO CITY STANDARDS BY OTHERS.

SITE DATA TABLE:

TAX PARCEL IDENTIFICATION NUMBERS:
 RO5507-002-069-000
 08 1991 PG 087

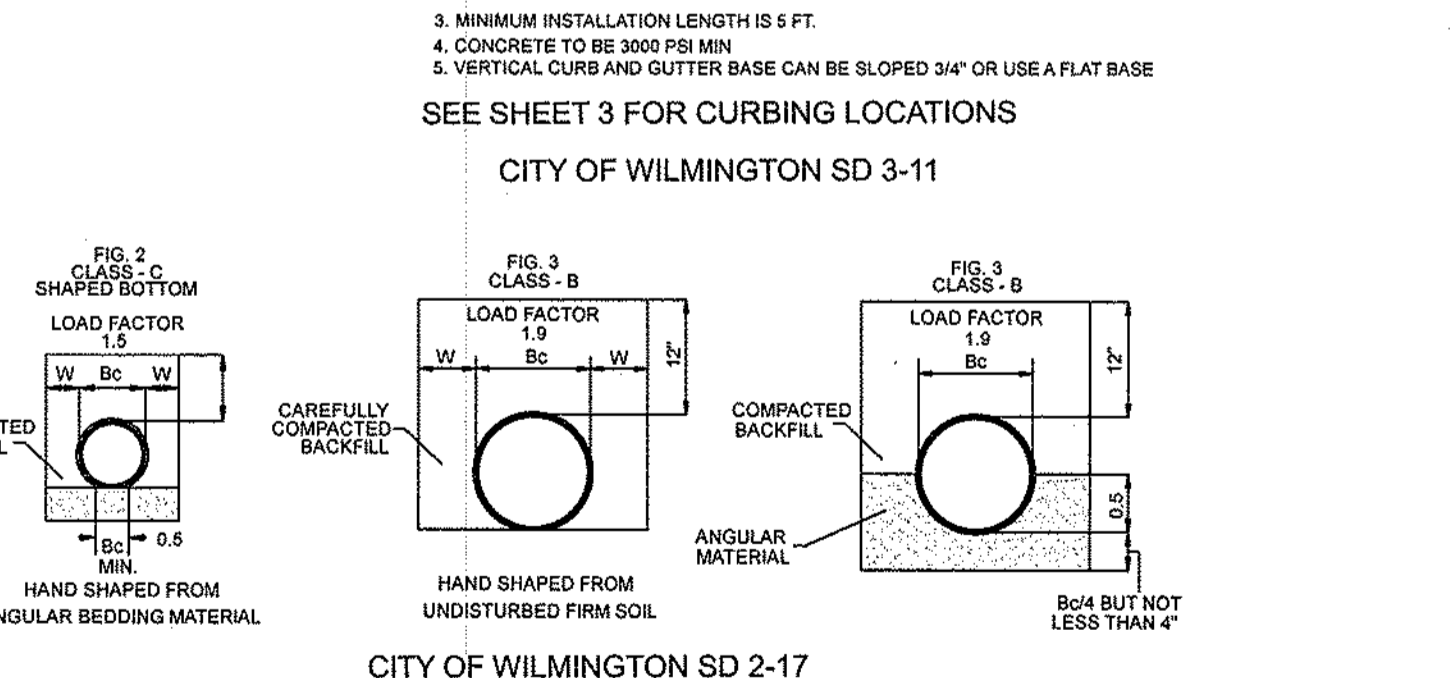
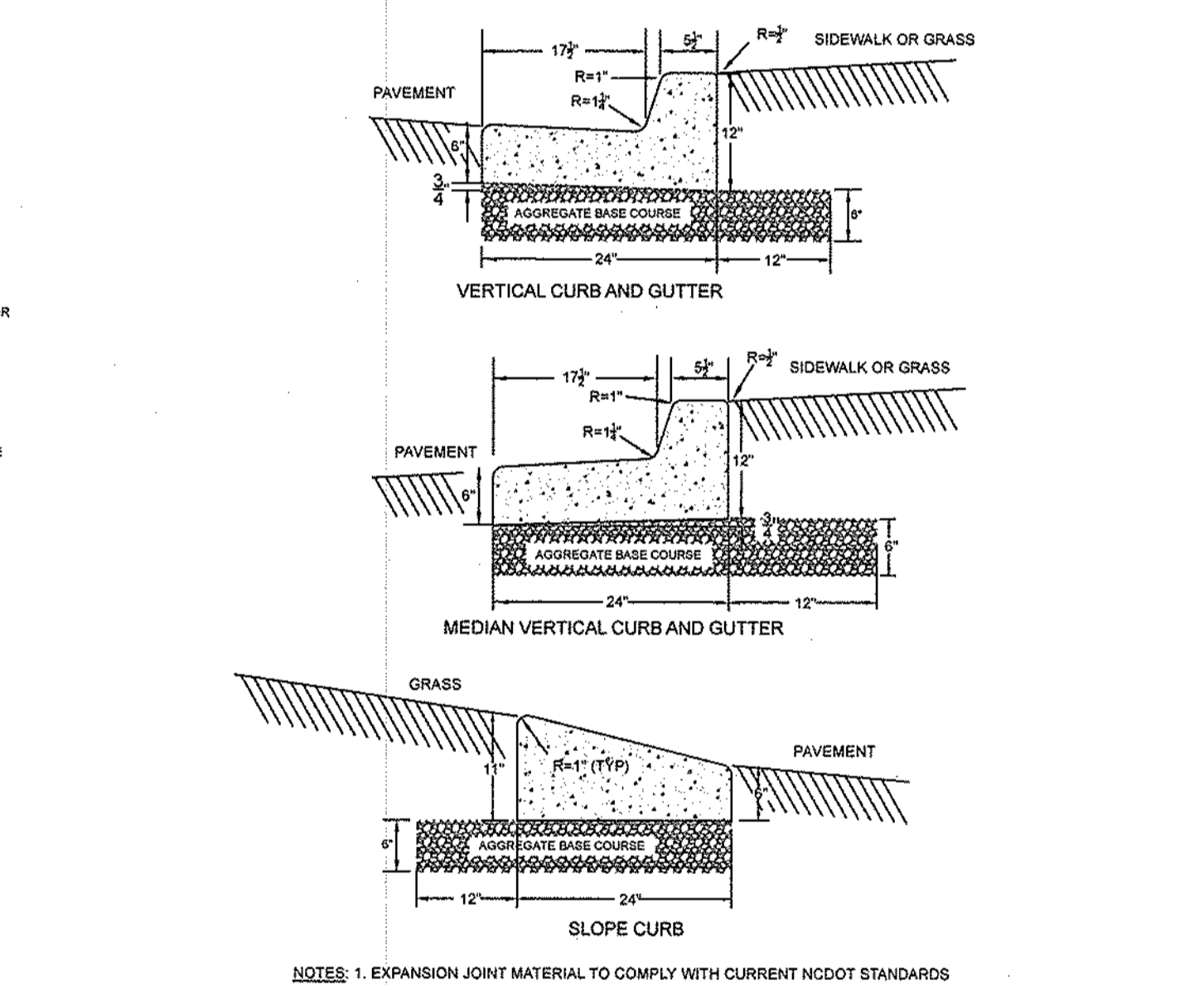
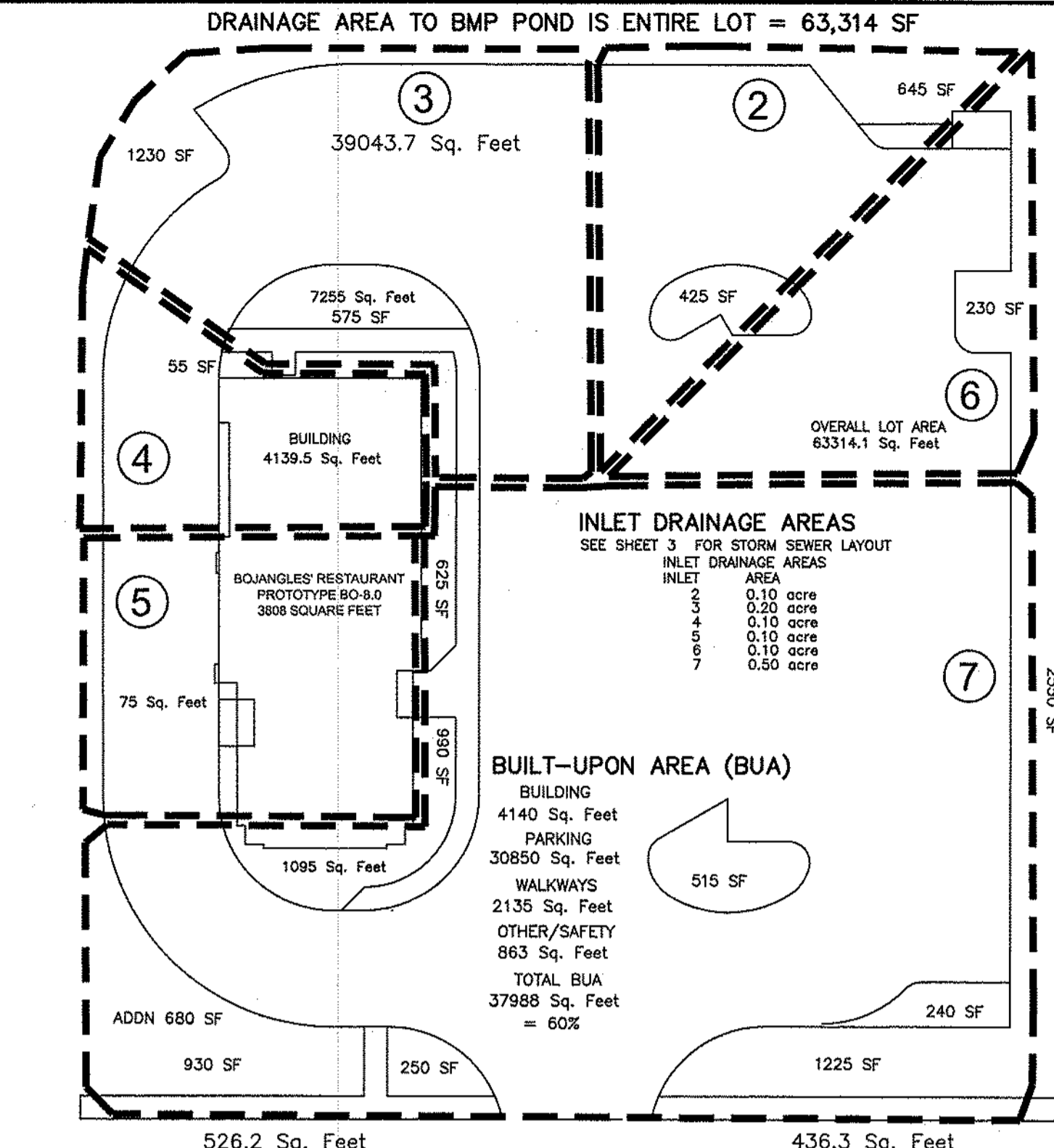
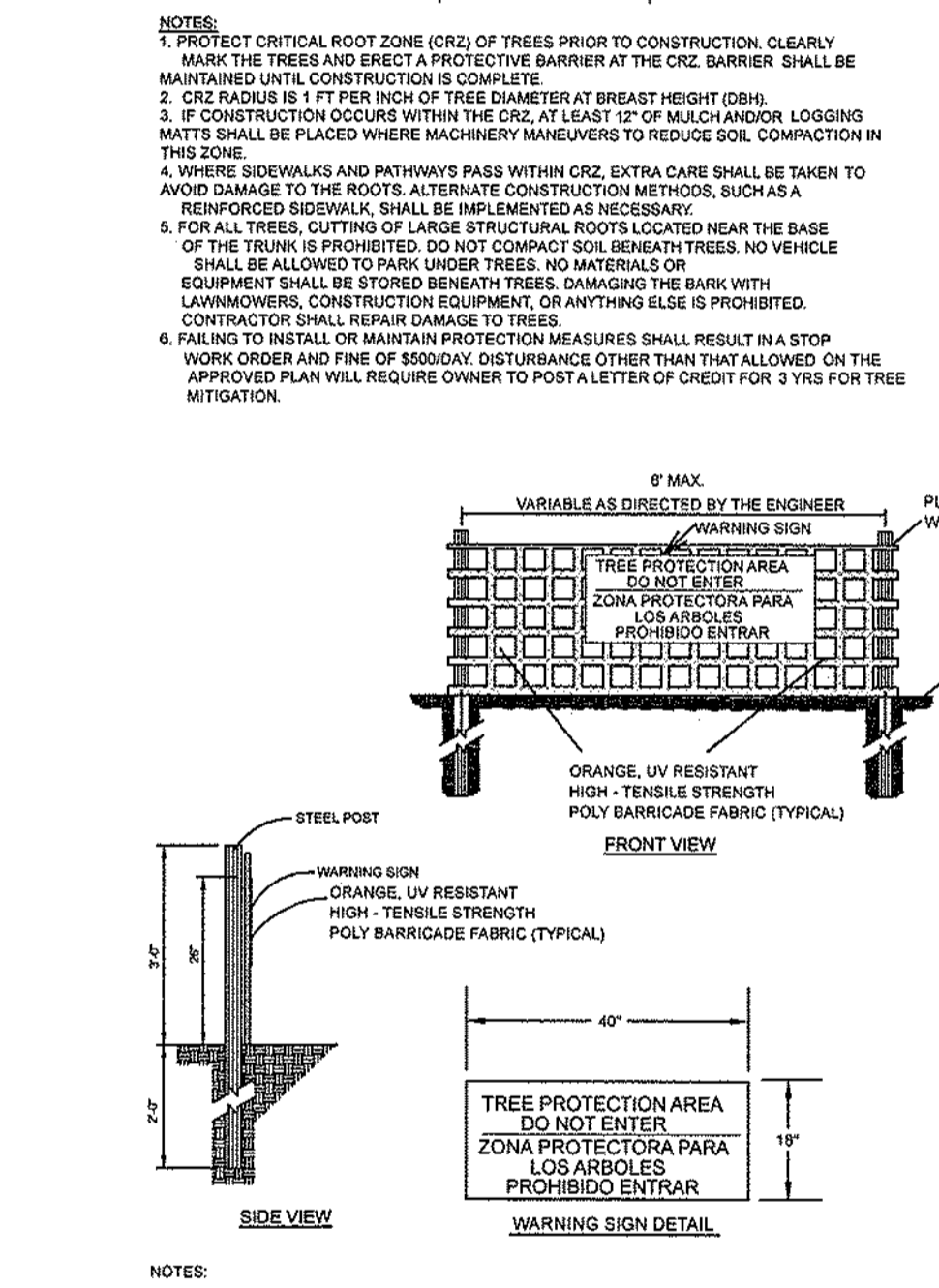
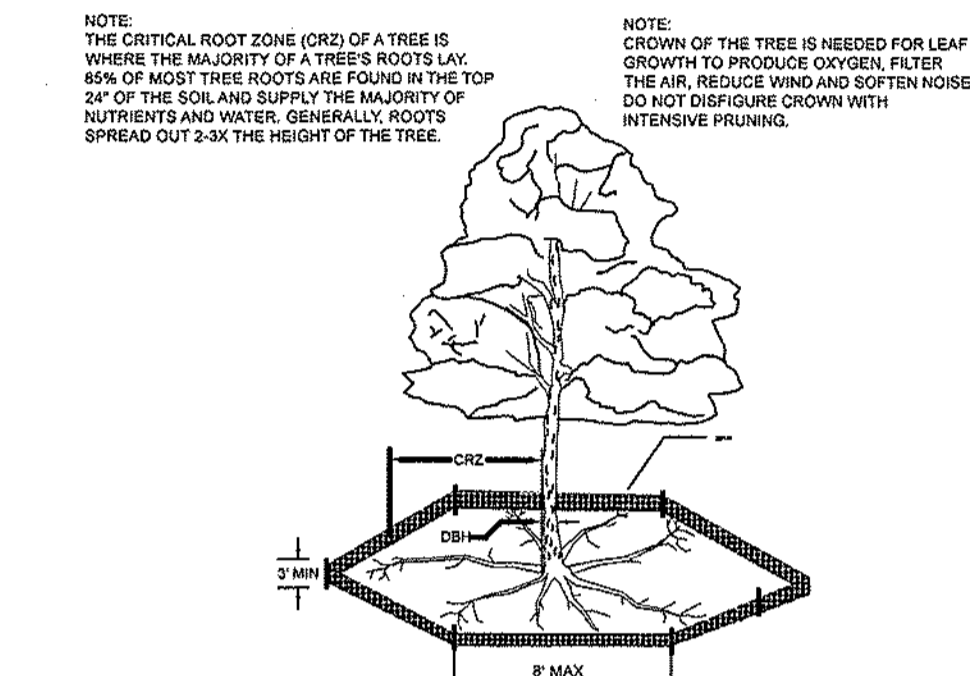
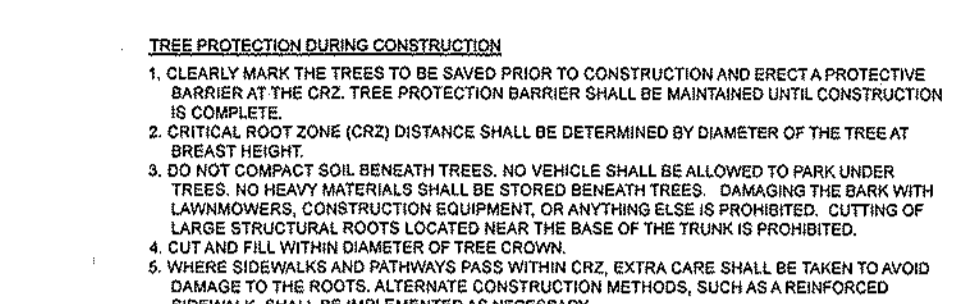
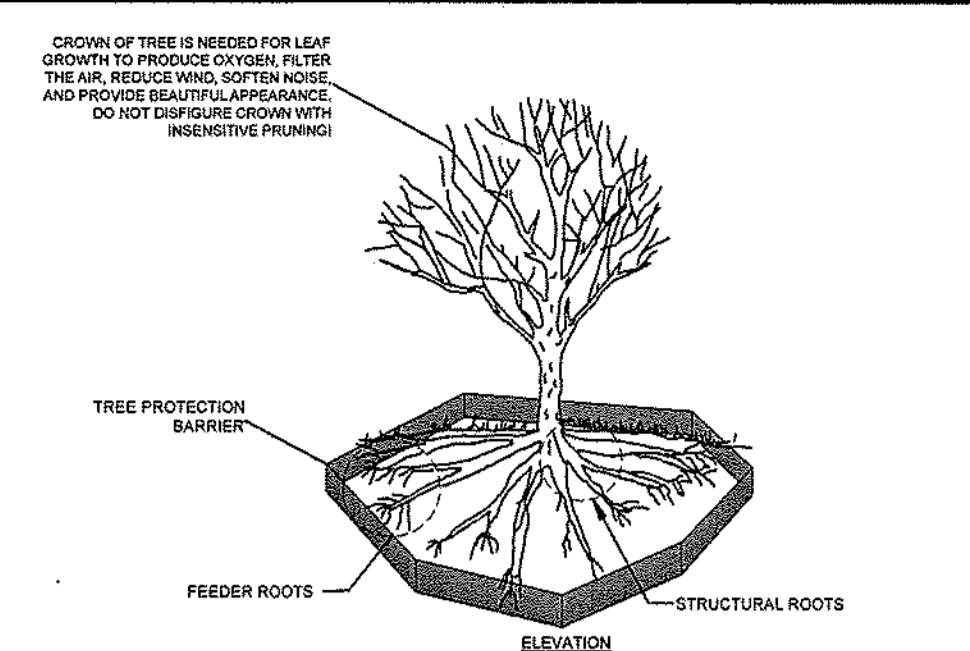
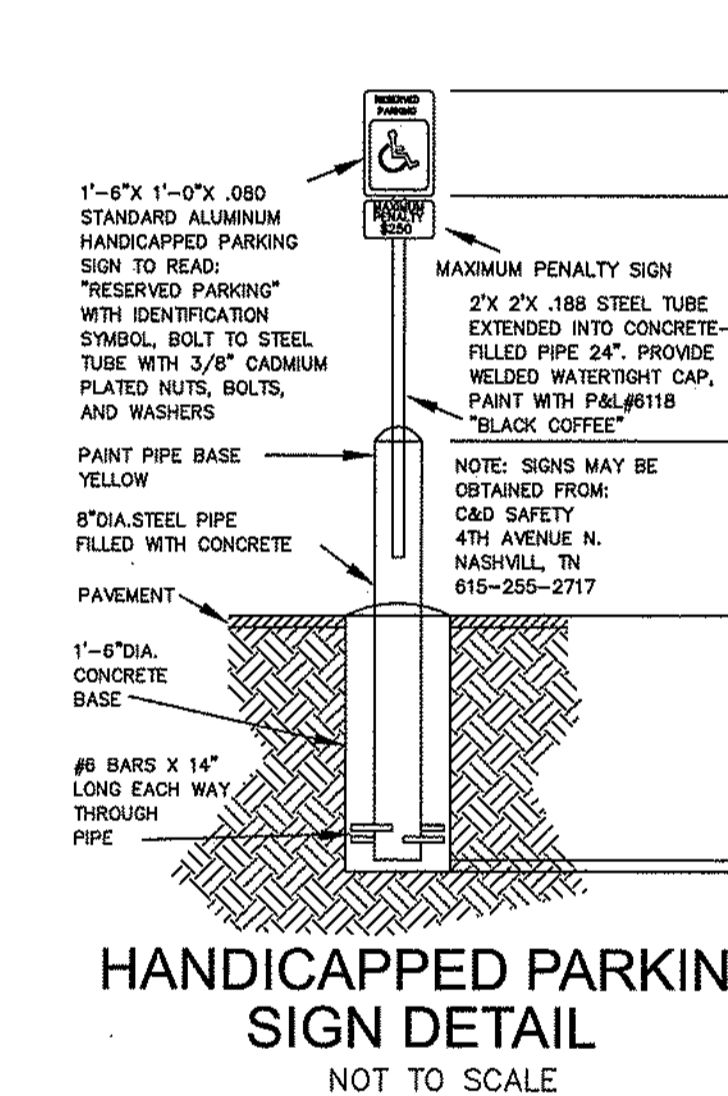
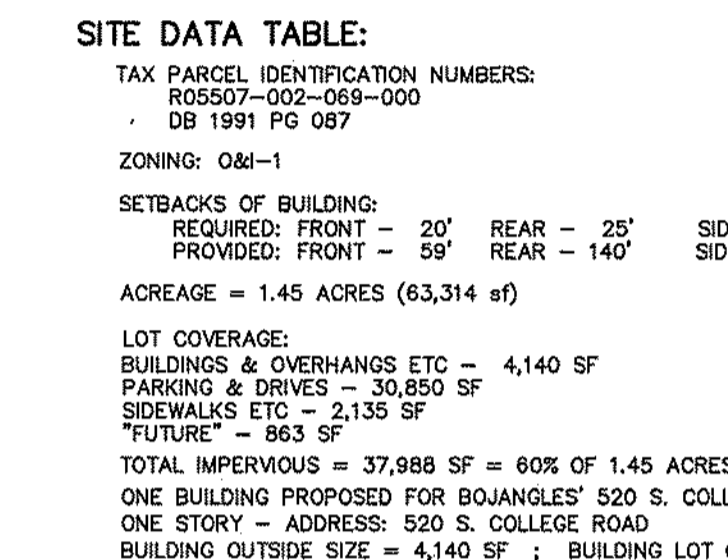
ZONING: O-M-1

SETBACKS OF BUILDING:
 REQUIRED: FRONT - 20' REAR - 25' SIDE - 10'
 PROVIDED: FRONT - 59' REAR - 140' SIDE - 21'

ACREAGE = 1.45 ACRES (63,314 sf)

LOT COVERAGE:
 BUILDINGS & OVERHANGS ETC - 4,140 SF
 PARKING & DRIVES - 30,850 SF
 SIDEWALKS ETC - 2,135 SF
 TOTAL - 67,125 SF
 "FUTURE" - 863 SF

TOTAL IMPERVIOUS = 37,988 SF = 60% OF 1.45 ACRES
 ONE BUILDING PROPOSED FOR BOJANGLES' 520 S. COLLEGE ROAD
 ONE STORY - ADDRESS: 520 S. COLLEGE ROAD
 BUILDING OUTSIDE SIZE = 4,140 SF ; BUILDING LOT COVERAGE = 7%



OVERALL LOT AREA
 63314.1 Sq. Feet
 1.45 Acres

BOJANGLES' COLLEGE ROAD
 170LF Primary frontage
 3060sf Streetyard required
 3085 sf provided

TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS AS PER CITY AND NCDOT STANDARDS.

NEW ST MH R/W 30' x 36.8
 15' x 37.8

SOUTH COLLEGE ROAD
 200 FT. PUBLIC RIGHT OF WAY

Approved Construction Plan

Name: _____ Date: _____

Planning: _____

Traffic: _____

Fire: _____

SIGNED: _____

REV. NO.	REVISIONS	DATE
3	MAJOR REVISION TO DRIVEWAY & DOT R/W	10-09-15
2	REVISIONS AS PER REVIEW COMMENTS	9-15-15
1	MAJOR REVISION TO DRIVEWAY & DOT R/W	8-07-15

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

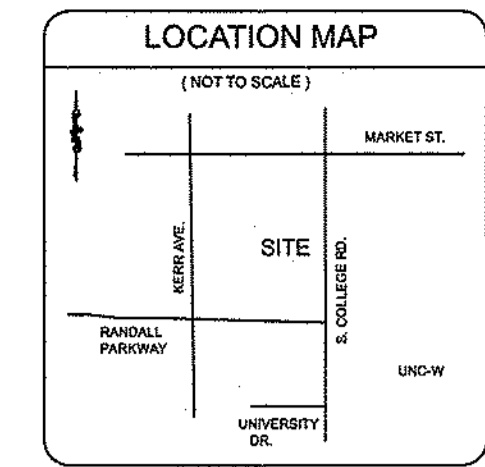
Site & Utilities Plan
BOJANGLES'
520 South College Road
 LOCATED IN CITY OF WILMINGTON

SMITHVILLE TOWNSHIP
 NEW HANOVER COUNTY, NORTH CAROLINA

DEVELOPER: BOJANGLES' RESTAURANTS INC.
 9432 SOUTHERN PINE BLVD.
 CHARLOTTE, NC 28273 phone:704-940-8669

HANOVER DESIGN SERVICES, P.A.
 LAND SURVEYORS, ENGINEERS & LAND PLANNERS
 1123 FEDERAL PARKWAY
 WILMINGTON, N.C. 28403
 PHONE: (910) 343-8002
 LICENSE: # C-0297

Date: 3-12-15
 Scale: 1" = 20'
 Drawn: DSH
 Checked: DSH
 Project No: 12354
 Sheet No: 2
 of 4



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

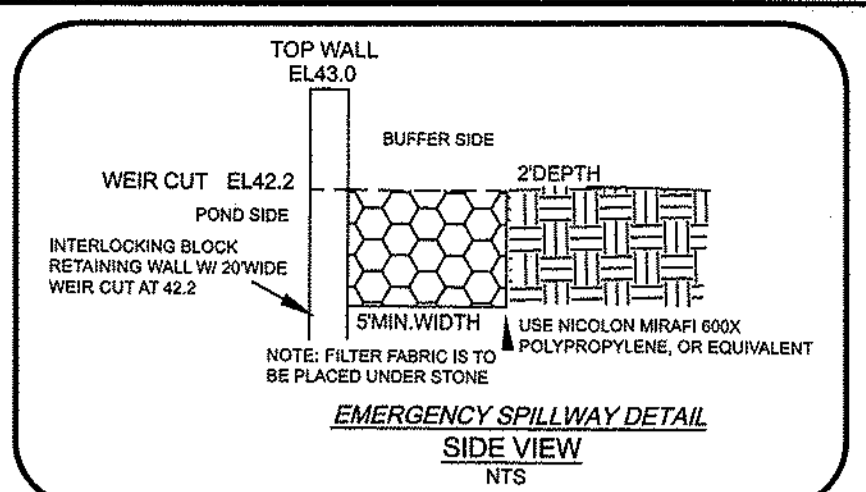
STORMWATER MANAGEMENT PLAN

APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____
PERMIT # _____
SIGNED _____

STABILIZATION TIME FRAMES:

SITE AREA DESCRIPTION	STABILIZATION
Perimeter dikes, swales, ditches and slopes	7 DAYS
High Quality Water (HGW) Zones	7 DAYS
Slopes steeper than 3:1	7 DAYS
Slopes 3:1 or flatter	14 DAYS
All other areas with slopes flatter than 4:1	14 DAYS

NOTE WELL:
ANY AREAS ON-SITE WITHOUT ACTIVITY SHALL BE STABILIZED WITHIN 15 WORKING DAYS AND AS ABOVE, ALL SLOPES MUST BE STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY ACTIVITY.



PLANNED EROSION AND SEDIMENT CONTROL PRACTICES -

- TEMPORARY GRAVEL CONSTRUCTION ENTRANCE** Practice 6.06
Should be installed at the entrances of the proposed project in and from College Road drives as shown. Drainage is away from the road and sedimentation will be controlled with downstream practices. During wet weather it may be necessary to wash truck tires at these locations.
- LAND GRADING** Practice 6.02
Grading should be limited to areas as shown on the Plans. Cut and fill slopes shall be 3:1 or flatter except where specifically indicated. Care shall be taken during land grading activities not to damage existing trees that are not required to be removed.
- SEDIMENT FENCE** Practice 6.52
Sediment fencing shall be installed as shown on the Plan, first, to delineate and protect low areas, and around any temporary stockpile areas as necessary to prevent any graded interior areas from eroding onto adjacent lands or roadway, or into inlets.
- OUTLET STABILIZATION** Practice 6.41
Riprap aprons will be located at the downstream end of all discharge pipes to prevent scour.
- SEDIMENT BASIN** Practice 6.61
The Sediment Basin is to be constructed (see Construction Schedule) as the primary Practice to prevent sediment from leaving the site. Detailed design and spillway configurations are specified in the details as shown on this Plan and the Narrative. The PVC outlet is to be blocked and weir blocked during the sedimentation function until entire watershed is permanently stabilized and pond is converted to permanent stormwater management detention / retention function. The Contractor will then open the control orifices.
- INLET PROTECTION** Practice 6.51
Storm sewer inlet barriers of hardware cloth and gravel inlet protection are to be constructed to help prevent sediment from entering the storm sewer system. After permanent stabilization of the entire contributing watershed area, the storm sewer system is to be flushed to remove accumulated sediment and ensure design flows.

Line no.	Flow rate (cfs)	Size (in)	Invert (ft)	Invert (ft)	Line Slope (%)	Gr down (ft)	Gr up (ft)	Dstrn line no.
1	1.10	24	35.00	36.50	4.69	41.50	41.50	1
2	3.99	18	37.00	37.40	0.47	41.40	41.40	2
3	5.19	18	37.40	37.70	0.45	41.40	40.70	3
4	2.31	18	37.30	37.30	0.50	41.50	41.50	4
5	1.16	18	37.30	37.80	0.48	41.50	42.10	5
6	0.58	18	37.80	38.00	0.57	42.10	42.10	6

DRAINAGE AREA TO BMP POND IS ENTIRE LOT = 63,314 SF

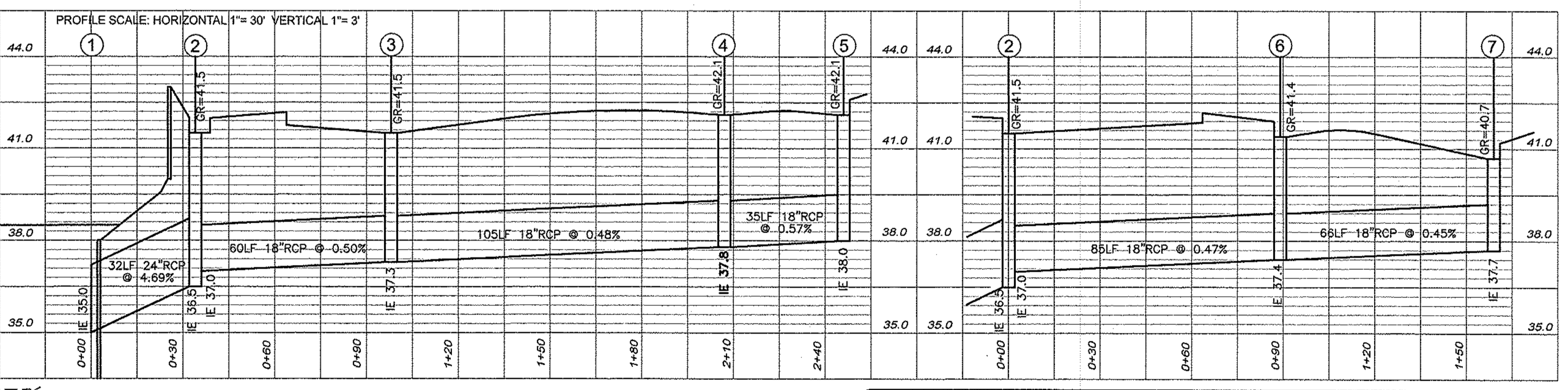
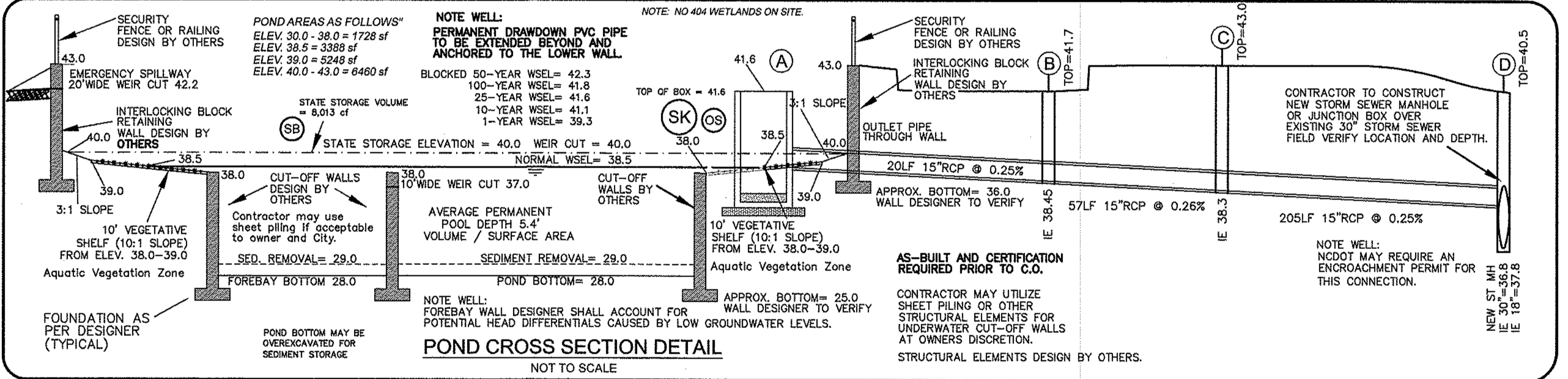
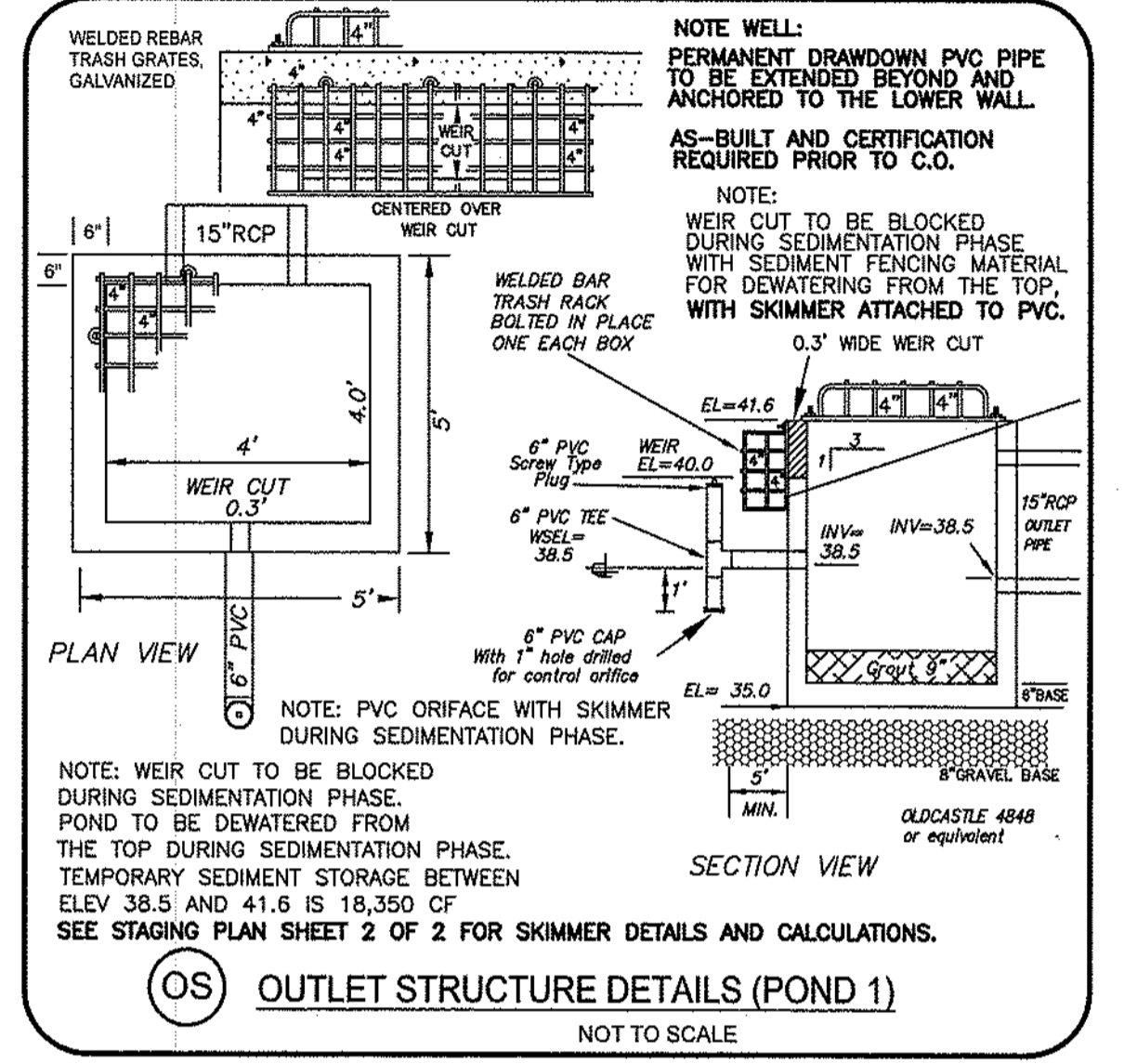
SURFACE AREA FOR SEDIMENTATION:
1.8 cfs X 325 = 585 sf REQUIRED
3,388 sf PROVIDED

AQUATIC VEGETATION
NOTE: REFERENCE IS MADE TO ADDITIONAL RECOMMENDATIONS FOR PLANTINGS IN THE NCDOT BMP MANUAL, SECTIONS 9.4.1 AND 6.4.2 ESPECIALLY.
50 PLANTS PER 200 SF OR APPROX. 20 LF AT WATERLINE TO BE PLANTED; APPROXIMATELY 800 PLANTS FOR POND.

BOJANGLES COLLEGE ROAD
Wet detention/retention pond
Additional Calculation Summary for City of Wilmington:
WATER QUALITY CONSIDERATIONS -
Impervious area calculations: See Project Data Sheet
TOTAL IMPERVIOUS = 37,988 sf
TOTAL AREA DRAINING TO POND = 63,314 sf (1.45 acres)
SA REQUIRED: 37,988 / 63,314 = 0.60, or 60%
At 4.5' average depth, 90% TSS removal, from chart - SA/DA factor = 4.8
63,314 x 0.01 x 4.8 = 3,039 sf SA REQUIRED
3,388 sf PROVIDED

PEAK DISCHARGE SUMMARY -
Q(1) pre-developed = 1.1 cfs
Q(10) pre-developed = 1.2 cfs
Q(25) pre-developed = 1.8 cfs
Q(1) post-developed = 0.0 cfs @ WSEL = 39.3
Q(10) post-developed = 1.0 cfs @ WSEL = 41.1
Q(25) post-developed = 1.7 cfs @ WSEL = 41.6
Q(100) post-developed = 5.4 cfs @ WSEL = 41.8
Q(50) post-BLOCKED = 3.0 cfs @ WSEL = 42.3
STATE WATER QUALITY POND CONSIDERATIONS -
Surface Area required = 3,039 sf @ WSEL 38.5
Storage Volume required = 4,669 cf @ WSEL 40.0
Storage Volume provided = 5,013 cf @ WSEL 40.0
Storage Volume Drawdown Time = 5 days
SEDIMENTATION POND CONSIDERATIONS -
Storage required = 1.4 X 3600 = 5,040 cf
Storage provided = 18,000 cf ±

NOTE WELL: SEE STAGING PLAN SHEET 2 OF 2 FOR ADDITIONAL SKIMMER OUTLET STRUCTURE DETAILS AND CALCULATIONS.



POND STORAGE AREAS

ELEV	AREA	Sq. Feet
43	6460.0	Sq. Feet
40	6460.0	Sq. Feet
39	5248.0	Sq. Feet
38.5	3388.0	Sq. Feet
38	1728.0	Sq. Feet
30	1728.0	Sq. Feet

INLET DRAINAGE AREAS

AREA	acre
1	0.10
2	0.20
3	0.10
4	0.10
5	0.10
6	0.10
7	0.50

OVERALL LOT AREA
63314.1 Sq. Feet
1.45 Acres

LIMITS OF DISTURBANCE
ADDITIONAL IN R/W, 0.6 ACRES

SCALE IN FEET: 1"= 20'

NOTE WELL:
ADDITIONAL EROSION CONTROL MEASURES REQUIRED FOR ALL WORK IN NCDOT R/W. SEE DRIVEWAY PLAN.

SOUTH COLLEGE ROAD
200 FT. PUBLIC RIGHT OF WAY

- EROSION CONTROL LEGEND (SEE NEXT SHEET FOR ADDITIONAL)**
- CE CONSTRUCTION ENTRANCE (TYPICAL)
 - SF SILT FENCE (NEW) (TYPICAL)
 - IP INLET PROTECTION (TYPICAL)
 - OP OUTLET PROTECTION (TYPICAL)
 - SB SEDIMENT BASIN
 - SK SKIMMER (SEE STAGING PLAN SHEET 2 OF 2)

NOTE WELL:
1. All storm water runoff from built upon areas (i.e. impervious surfaces) to be directed to the storm sewer collection system (i.e. storm inlets or pond forebays) by swales, overland flow, additional grading, or landscaping inlets.

Site Grading, Stormwater and Erosion Control Measures
BOJANGLES' 520 South College Rd.
LOCATED IN CITY OF WILMINGTON

SMITHVILLE TOWNSHIP
NEW HANOVER COUNTY, NORTH CAROLINA

DEVELOPER: BOJANGLES' RESTAURANTS INC.
9432 SOUTHERN PINE BLVD.
CHARLOTTE, NC 28273 phone: 704-904-8858

HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS, ENGINEERS & LAND PLANNERS
1123 FLORAL PARKWAY
WILMINGTON, N.C. 28403
PHONE: (910) 343-8002
LICENSE # C-0597

Date: 3-12-15
Scale: 1"= 20'
Drawn: DSH
Checked: DSH
Project No: 12354-SHT3
Sheet No: 3 of 4

Professional Engineer Seal 20007
10-09-15
dhollis @ hdsim.com

SB

Sediment Basin

Specifications # 6.01 - Construction Specifications
1. Site preparations: Clear, grub and strip topsoil from areas under the embankment to remove trees, vegetation, roots and other objectionable material.

OP

Outlet Stabilization Structure

Specification # 6.41 - Construction Specifications
1. Ensure that the subgrade for the filter and riprap follows the required lines and grades shown in the plan. Compact any fill required in the subgrade to the density of the surrounding undisturbed material.

IP

CONSTRUCTION SCHEDULE - SEE PLAN THIS SHEET AND ALSO STAGING / DEMOLITION PLAN

- 1. Obtain approval of Plan and any necessary permits, and hold a pre-construction conference prior to commencing any work.
2. Flag work limits and stake-out building and identify trees to be removed.

MAINTENANCE PLAN -

- 1. All measures to be inspected weekly and after any rainfall event and needed repairs made immediately.
2. Sediment Basin to be cleaned out when the level of sediment reaches as shown on individual pond plans.

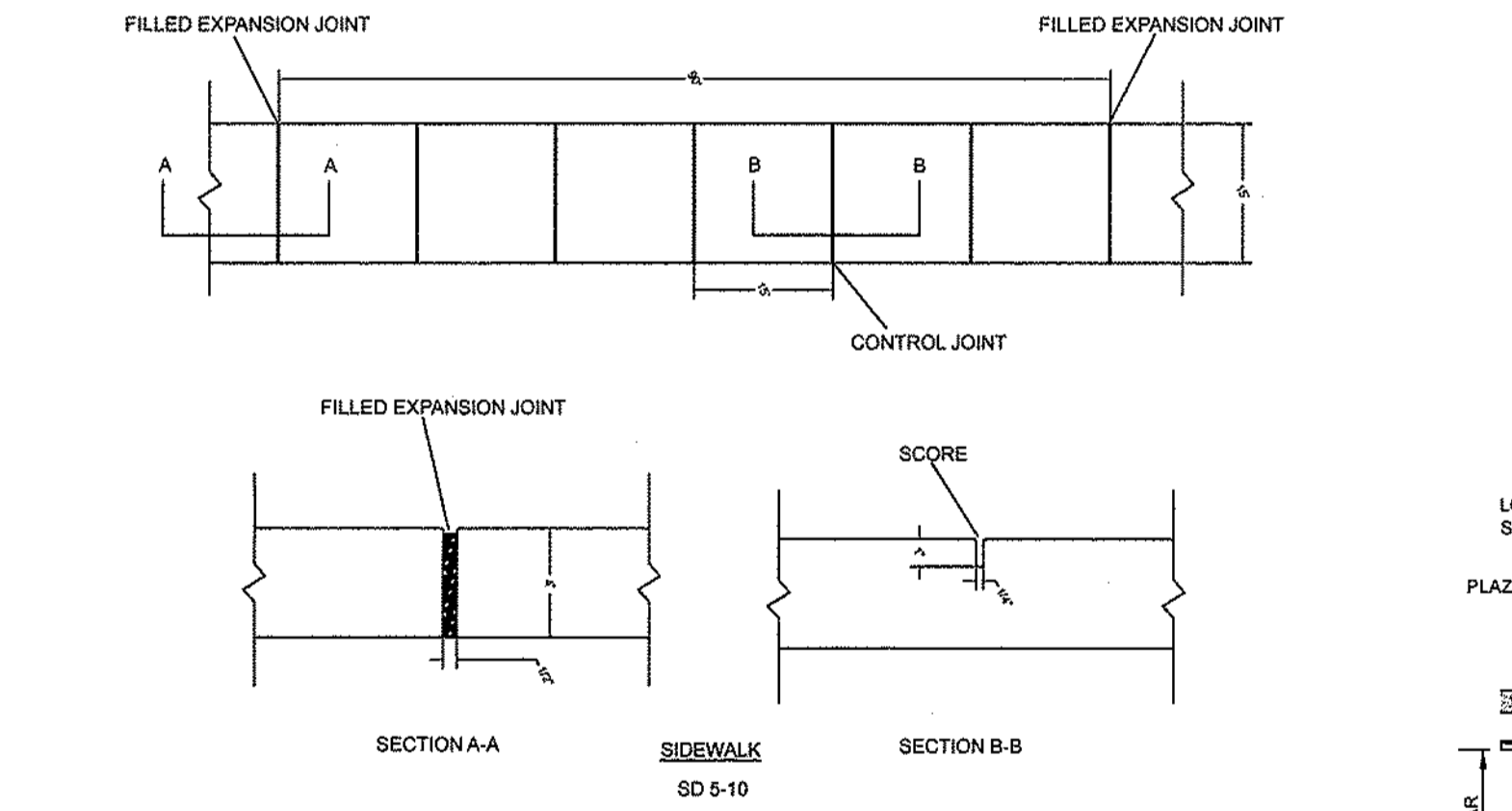
VEGETATION PLAN -

- 1. Permanent vegetation to be established in accordance with "North Carolina Erosion and Sediment Control Planning and Design Manual", Section 6.11, latest version. See next sheet.

NOTE WELL: EROSION CONTROL DETAILS AND SPECIFICATIONS ARE AS PER THE "EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL" OF THE STATE OF NORTH CAROLINA, DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES, LATEST EDITION. PRACTICE NUMBERS REFER TO THIS MANUAL.

DESIGNER'S CERTIFICATION - I hereby certify that this plan has been prepared in accordance with the latest Wilmington Standards and Specifications for Stormwater Management and Chapter 20 of the Code of Ordinances of the City of Wilmington.

OWNER'S / DEVELOPER'S CERTIFICATION: I / We hereby certify that any clearing, grading, construction or development, or all of them, will be done pursuant to this plan and that the applicable Stormwater Management conditions and requirements of the City of Wilmington, the State of North Carolina, and the Federal Government and its agencies are hereby made part of this plan.



- NOTES: 1. JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
2. SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.

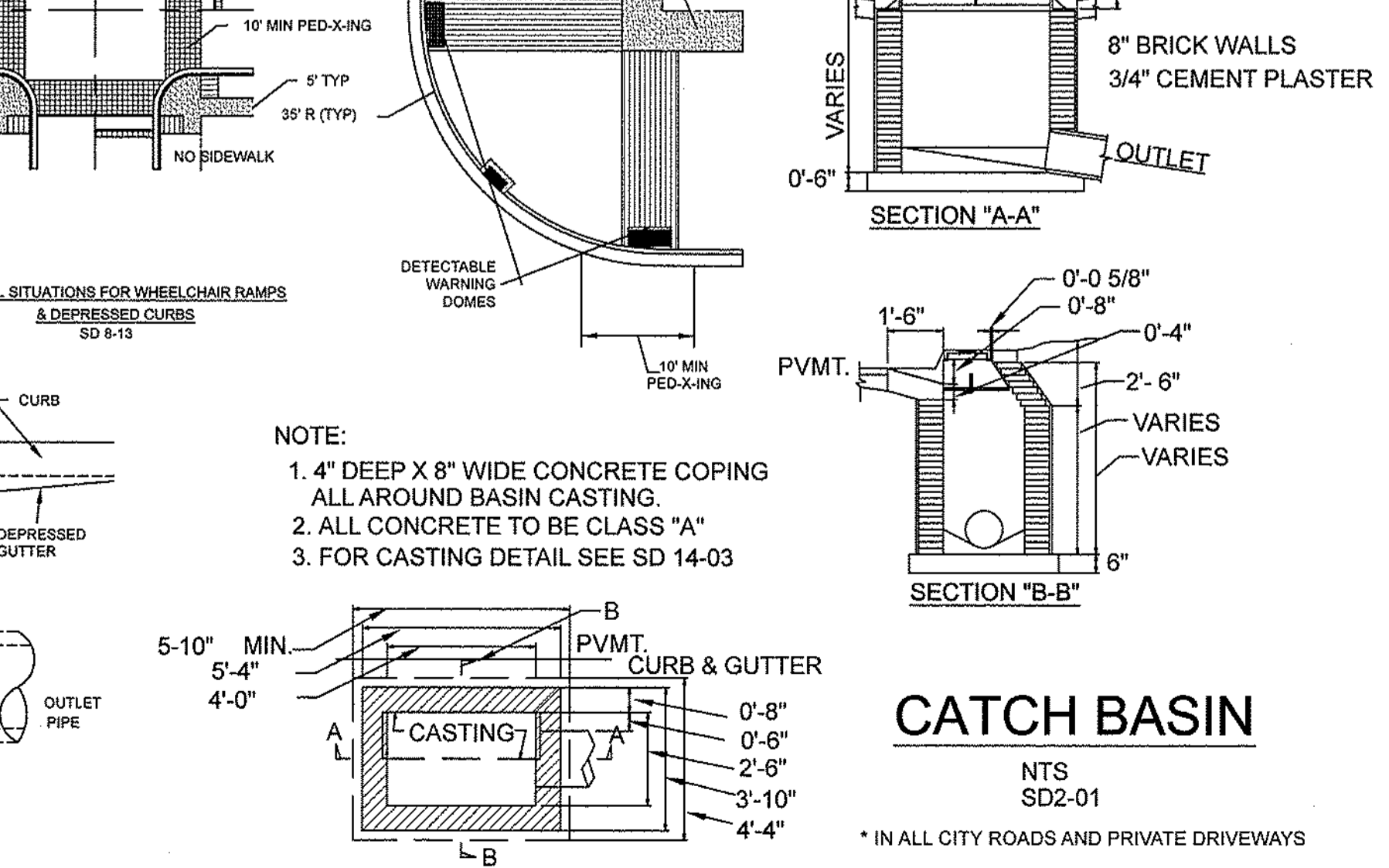
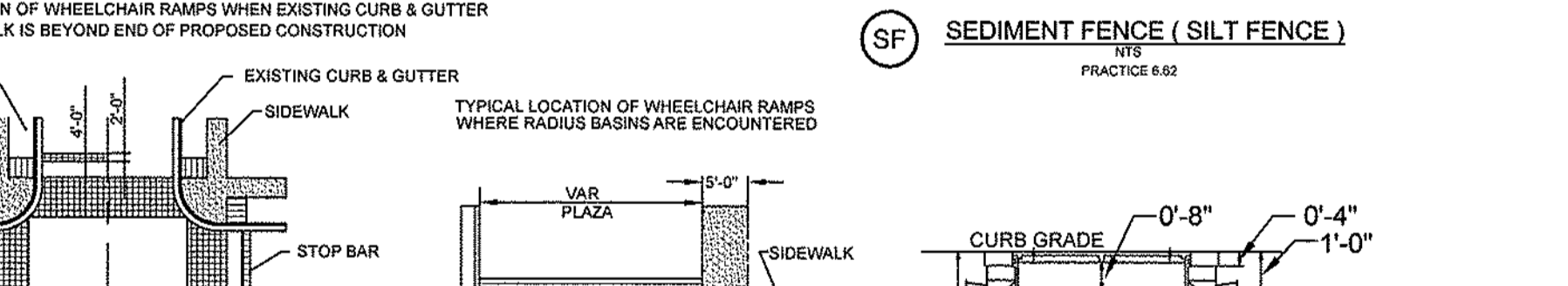
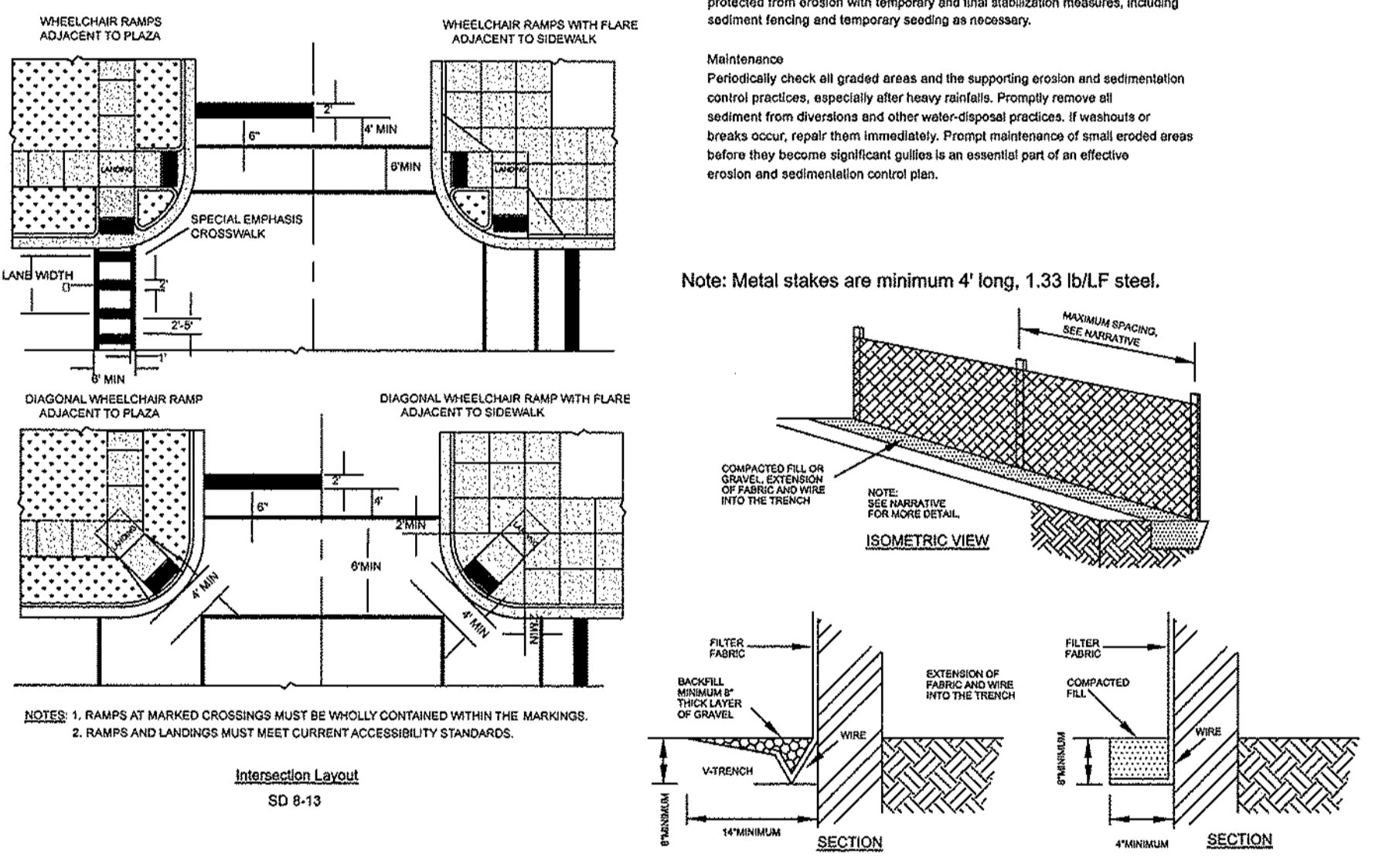
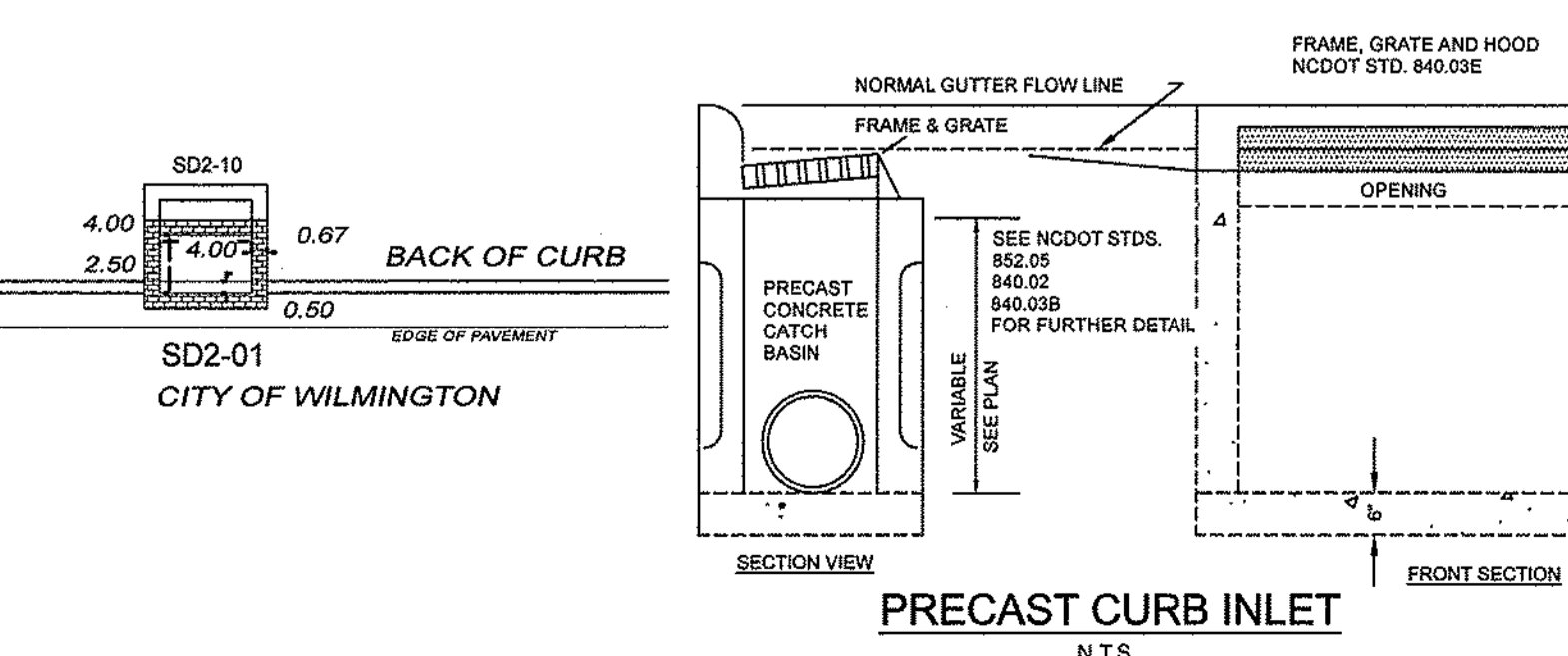


Table 6.11a - Seeding No. 4CP for: Well-Drained Sandy Soils to Dry Sand, Coastal Plain; Low to Medium-Care Lawns
Species - Centipede-grass - Rate - 10-20 lb/acre (seed) or 33 lb/acre (sprig)

Table 6.11 - Seeding No. 4CP for: Well-Drained Sandy Soils to Dry Sand, Low Maintenance
Seeding mixture: Spades Rate (lb/acre) Penstemon 10, Serenoa 30, Common Bermudagrass 10

Table 6.11v - Seeding No. 7CP for: Grass-land Channels, Coastal Plain
Seeding Mixture: Species - Common Bermudagrass - Rate - 40-60 (lb/1000 ft)

Table 6.11w - Seeding No. 7CP for: Grass-land Channels, Coastal Plain
Seeding Mixture: Species - Common Bermudagrass - Rate - 40-60 (lb/1000 ft)

SF

Sediment Fence (Silt Fence)

Specifications 6.82 - Construction Specifications
1. A synthetic filter fabric or a pervious sheet of polypropylene, nylon, polyester, or polyethylene yarn, which is certified by the manufacturer or supplier as conforming to the requirements shown in Table 6.82.

CE

Permanent Seeding

Specifications # 6.11 - Specifications
Seeding Requirements: Establishment of vegetation should not be attempted on sites that are unsuitable due to inappropriate soil textures.

Table 6.10a - Temporary Seeding Recommendation for Late Winter and Early Spring
Seeding Mixture: Species-Ryegrass, Annual Ryegrass, Annual Ryegrass, Annual Ryegrass

Table 6.10b - Temporary Seeding Recommendation for Summer
Seeding Mixture: Species-Centipede, Annual Ryegrass, Annual Ryegrass

Table 6.10c - Temporary Seeding Recommendation for Fall
Seeding Mixture: Species-Ryegrass, Annual Ryegrass, Annual Ryegrass

Table 6.10d - Temporary Seeding Recommendation for Winter
Seeding Mixture: Species-Ryegrass, Annual Ryegrass, Annual Ryegrass

Table 6.10e - Temporary Seeding Recommendation for Late Winter and Early Spring
Seeding Mixture: Species-Ryegrass, Annual Ryegrass, Annual Ryegrass

Table 6.10f - Temporary Seeding Recommendation for Summer
Seeding Mixture: Species-Centipede, Annual Ryegrass, Annual Ryegrass

Table 6.10g - Temporary Seeding Recommendation for Fall
Seeding Mixture: Species-Ryegrass, Annual Ryegrass, Annual Ryegrass

Table 6.10h - Temporary Seeding Recommendation for Winter
Seeding Mixture: Species-Ryegrass, Annual Ryegrass, Annual Ryegrass

Approved Construction Plan form with fields for Name, Date, Planning, Traffic, Fire.

STORMWATER MANAGEMENT PLAN APPROVED form with fields for Name, Date, Permit #.

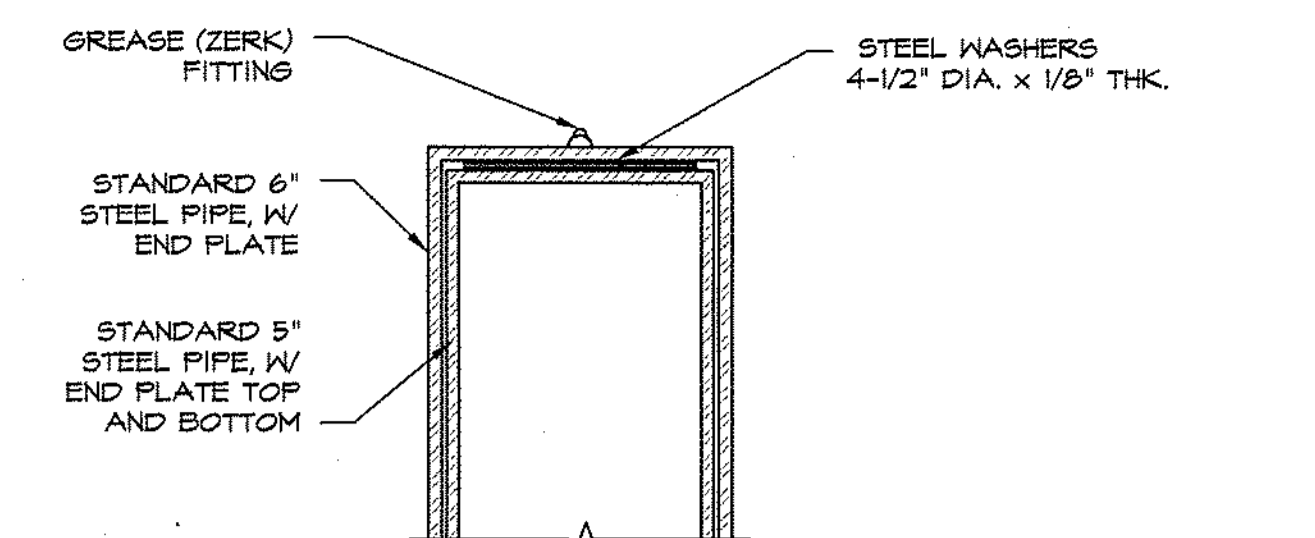
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

DETAILS, SPECIFICATIONS AND NOTES BOJANGLES' 520 South College Rd. LOCATED IN CITY OF WILMINGTON

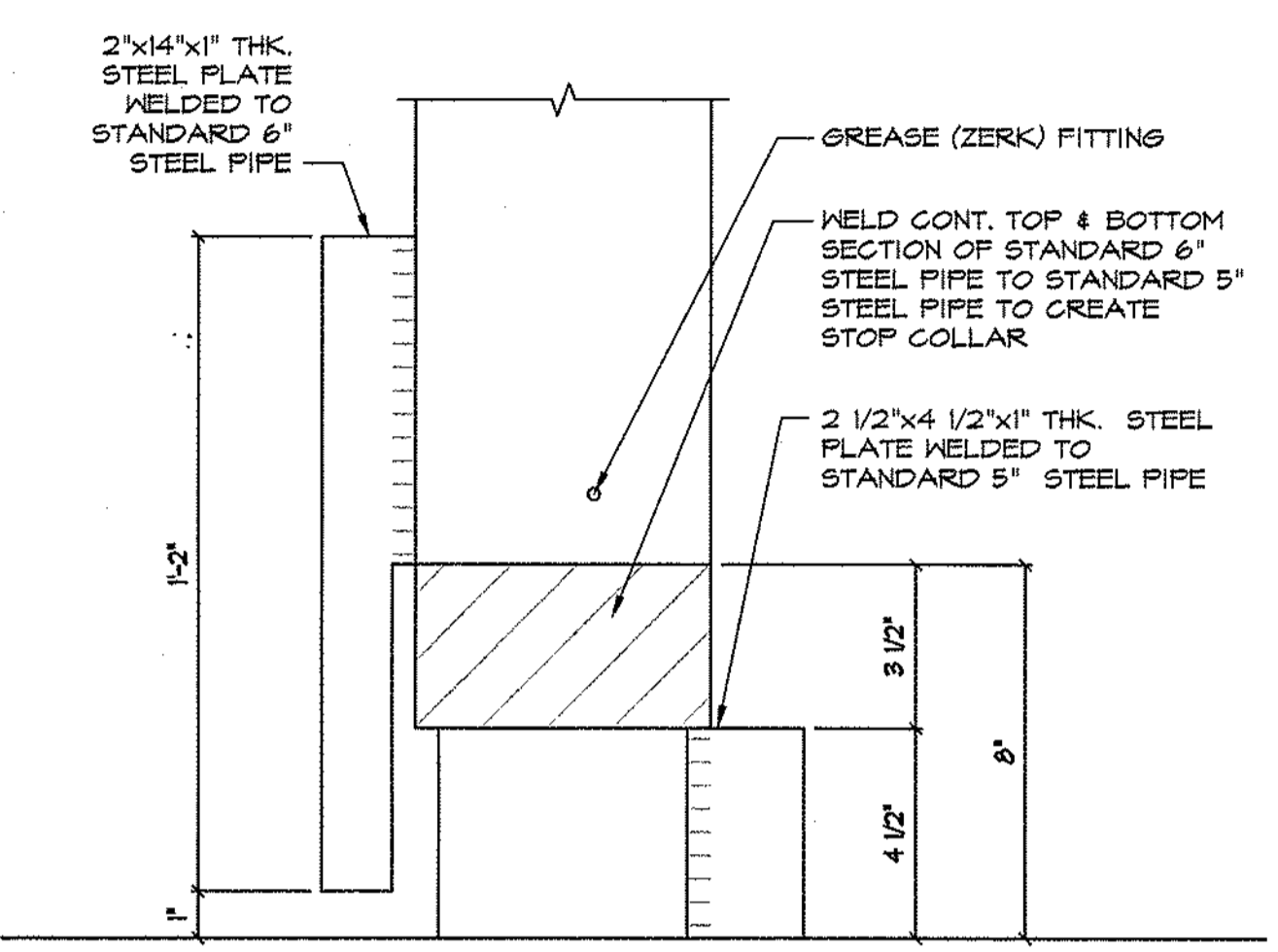
HANOVER DESIGN SERVICES, P.A. LAND SURVEYORS, ENGINEERS & LAND PLANNERS 1123 FLORAL PARKWAY WILMINGTON, N.C. 28403

Date: 3-12-15 Scale: 1"=20' Drawn: DSH Checked: DSH Project No: 12354SHT4 Sheet No: 4 of 4

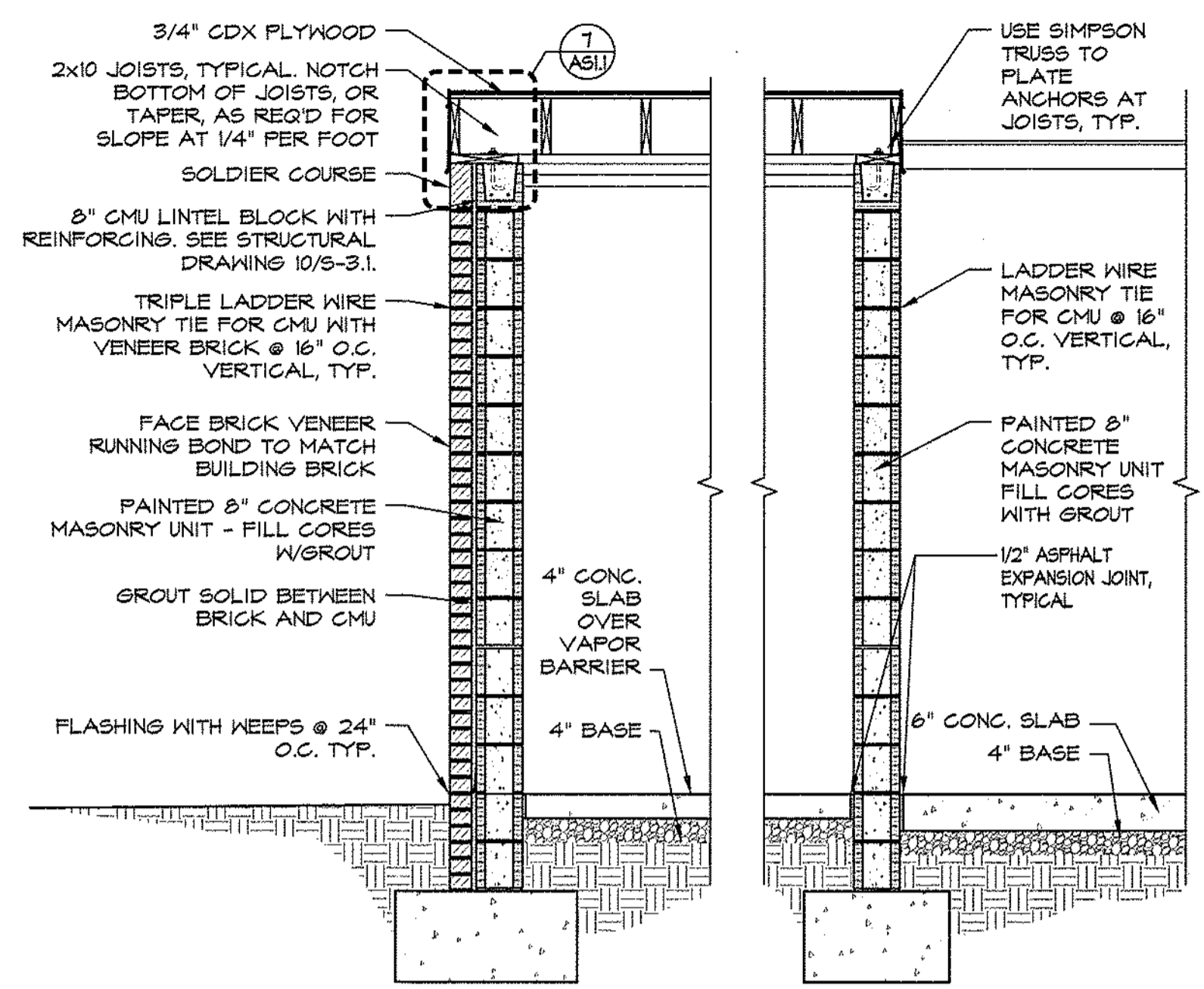
P:\2015\15-129-000 Bojangles (C) Wilmington NC - College Rd\CD\AS01-1 SITE DETAILS.dwg, Plotted By: bhughes, Plotted: Mar 18, 2015 - 12:19pm



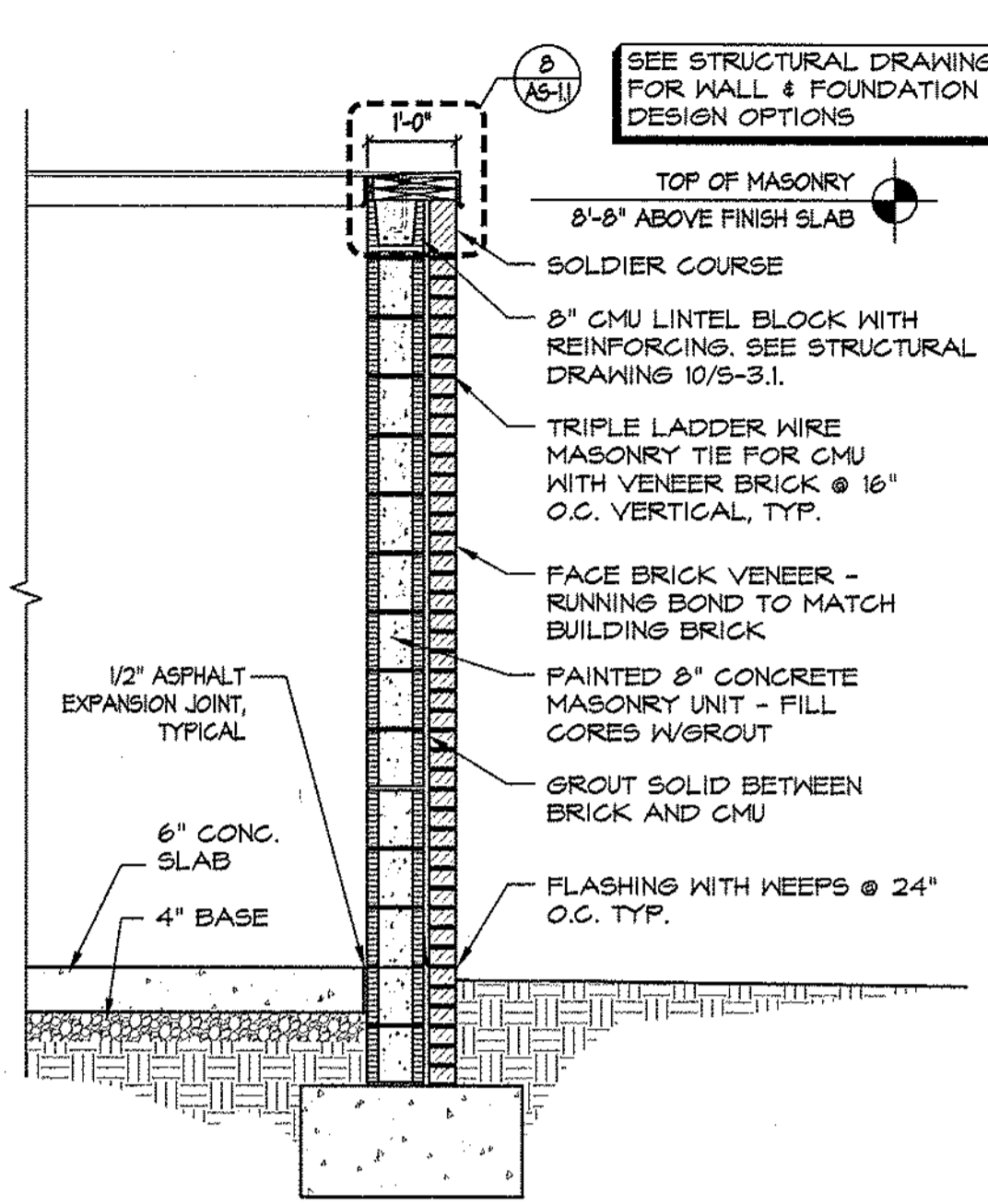
12 GATE DETAIL
SCALE: 1 1/2"=1'-0"



11 GATE DETAIL
SCALE: 1 1/2"=1'-0"



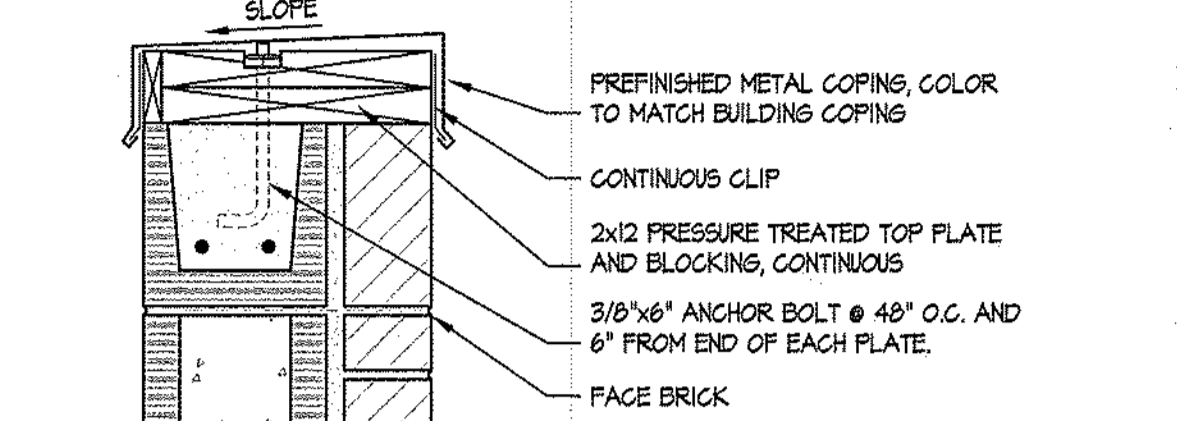
10 WASTE ENCLOSURE SECTION
SCALE: 1/2"=1'-0"



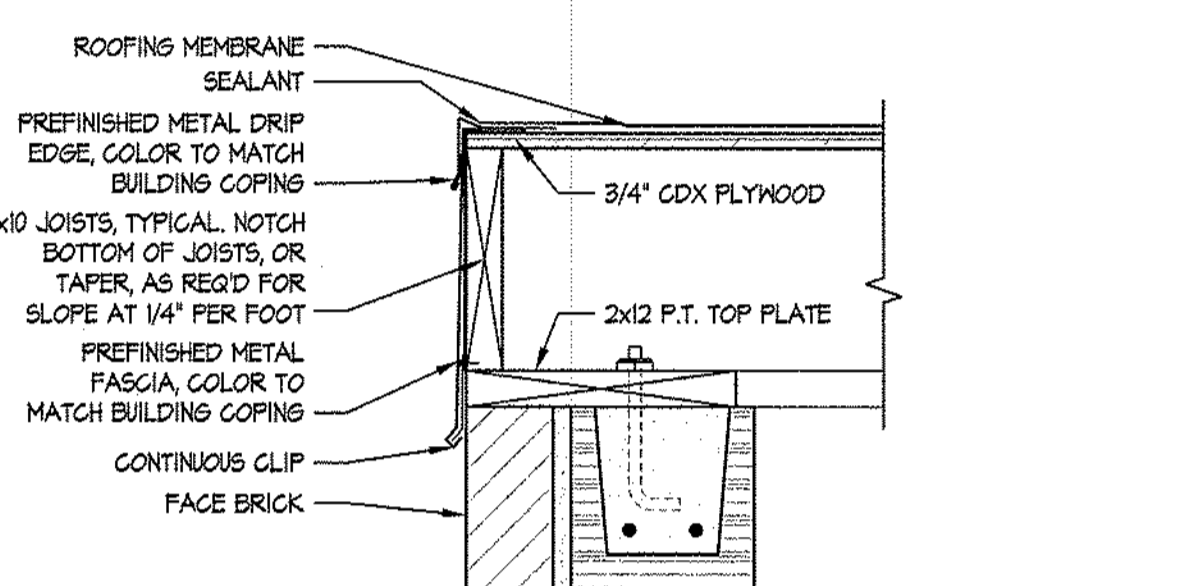
9 WASTE ENCLOSURE WALL SECTION
SCALE: 1/2"=1'-0"

THE ARCHITECT/ENGINEER DOES NOT DEFINE THE SCOPE OF INDIVIDUAL TRADES, SUBCONTRACTORS, MATERIAL SUPPLIERS, OR VENDORS. ANY SHEET NUMBERING SYSTEM USED WHICH IDENTIFIES DISCIPLINES IS SOLELY TO SEPARATE ARCHITECTS AND ENGINEER'S SCOPE; IT DOES NOT DEFINE A SUBCONTRACTOR'S SCOPE OF WORK. NO CONSIDERATION WILL BE GIVEN TO REQUESTS FOR CHANGE ORDERS FOR FAILURE TO OBTAIN AND REVIEW THE COMPLETE SET OF DRAWINGS AND SPECIFICATIONS.

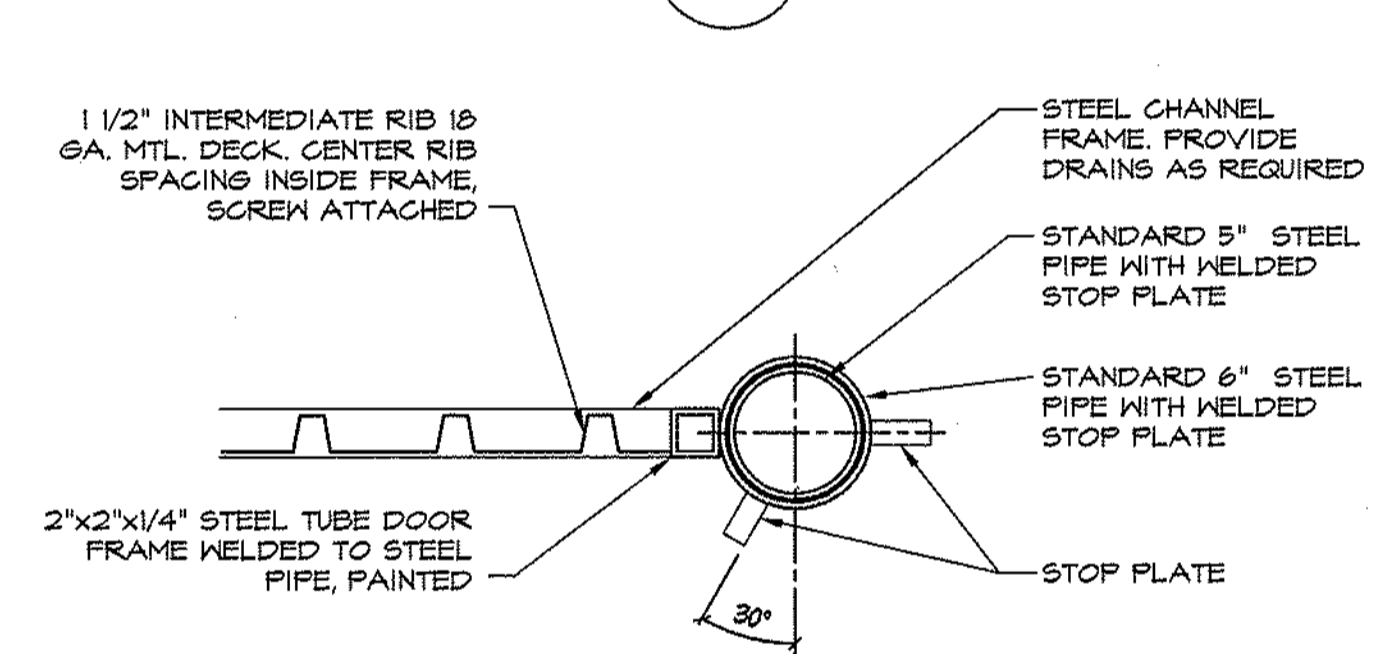
- PLAN NOTES:**
1. ALL STEEL TO BE WELDED AND GROUND SMOOTH.
 2. GATES AND ALL STEEL COMPONENTS ARE TO BE PRIMED AND PAINTED TO MATCH BRONZE COLORED MASONRY COPING CAP
 3. STANDARD SIZE 6" STEEL PIPE IS 6.325" O.D. THICKNESS OF 0.28"
 4. STANDARD SIZE 5" STEEL PIPE IS 5.563" O.D. THICKNESS OF 0.258"



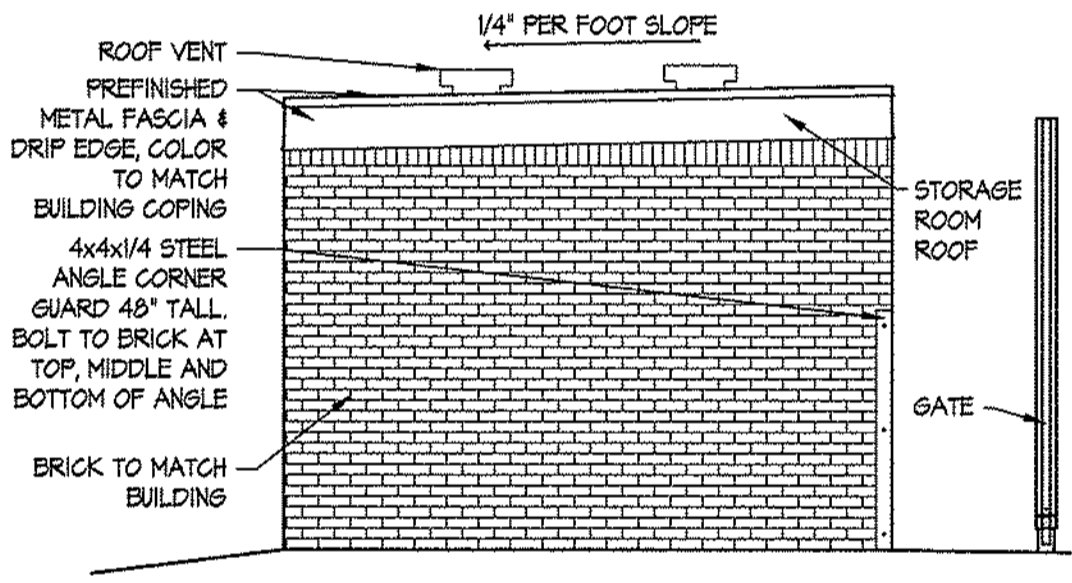
8 SECTION DETAIL
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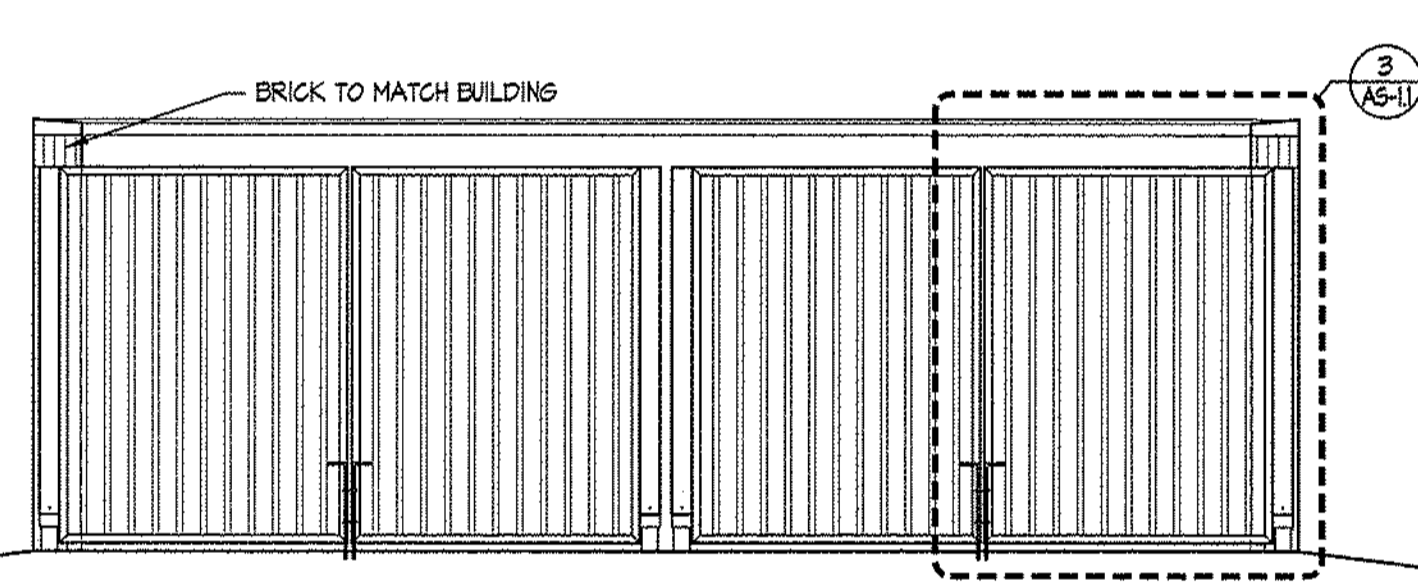
7 SECTION DETAIL
SCALE: 1 1/2"=1'-0"



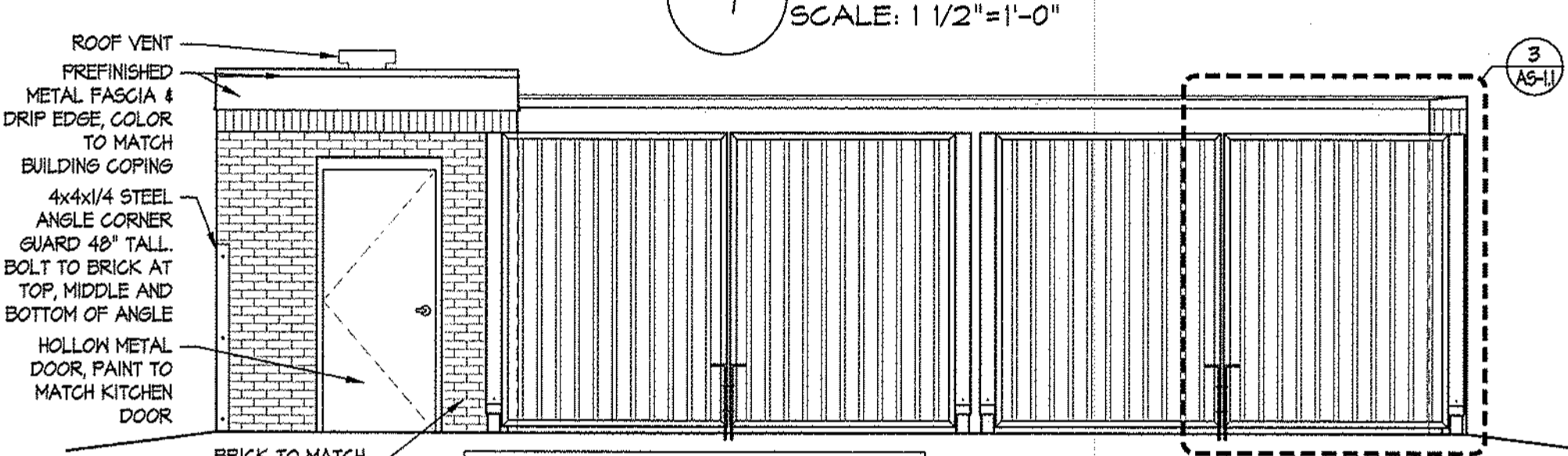
6 GATE DETAIL
SCALE: 1 1/2"=1'-0"



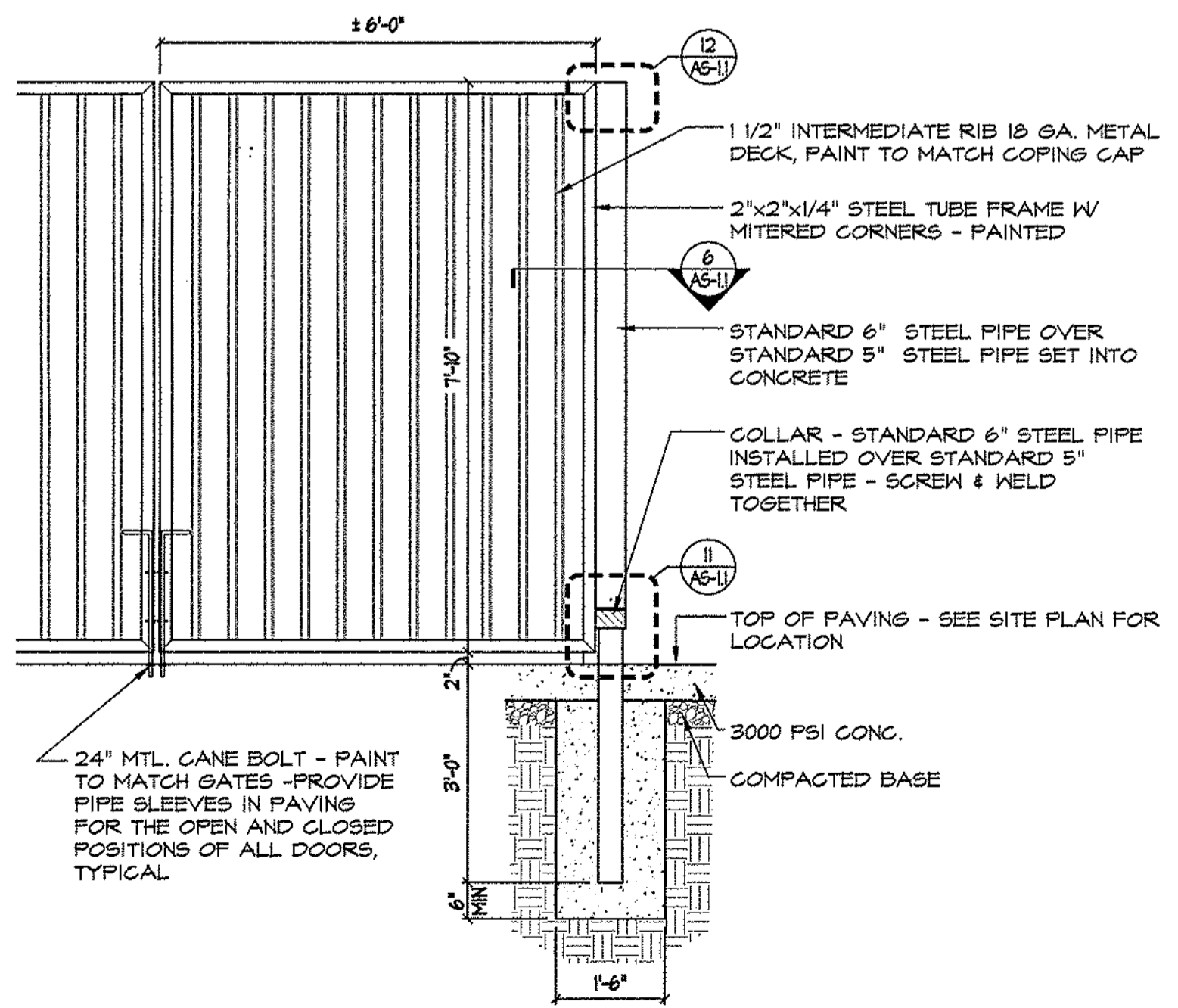
5A WASTE ENCLOSURE ELEVATION
SCALE: 1/4"=1'-0"



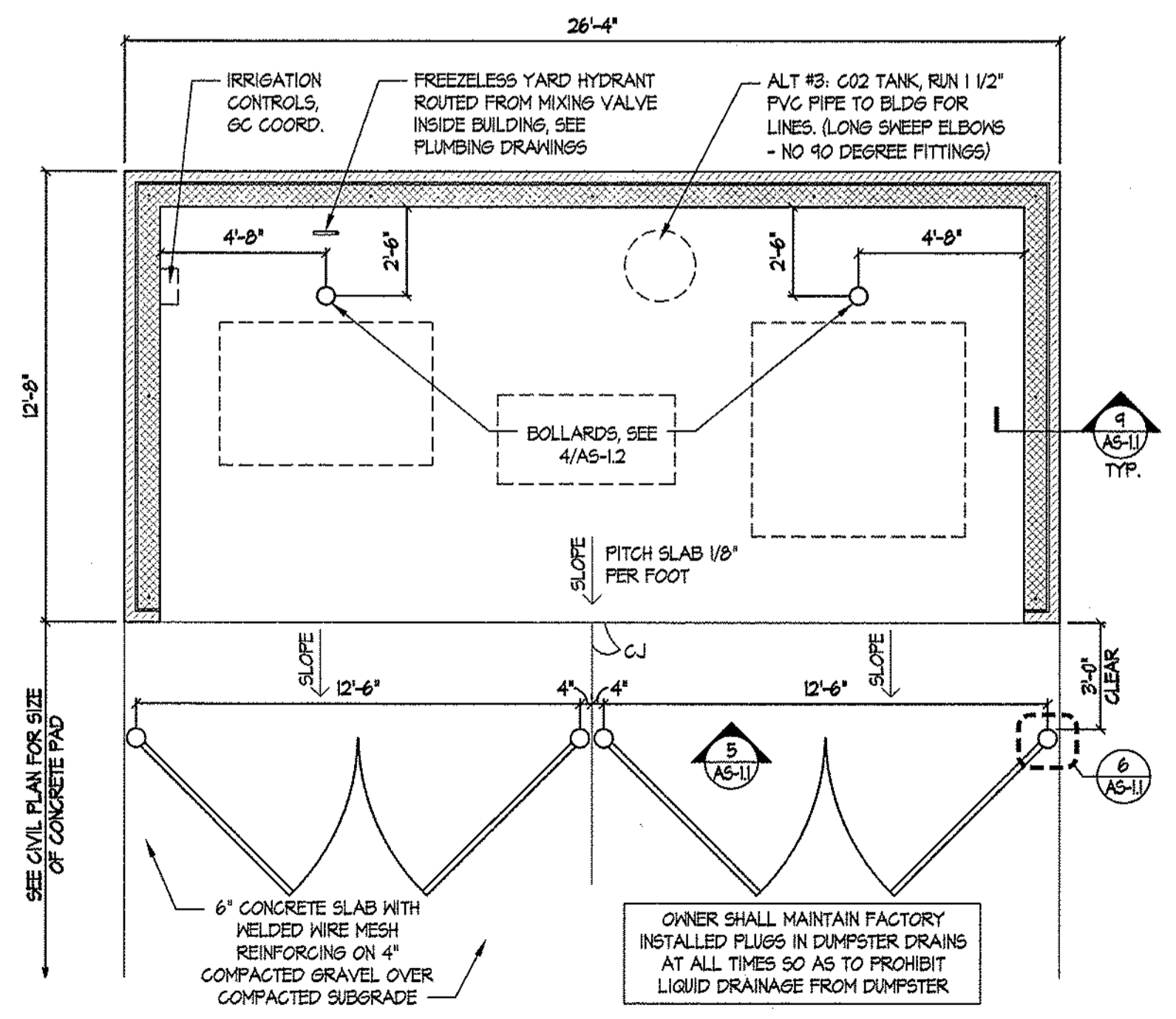
5 ALTERNATE #2 WASTE ENCLOSURE ELEVATION
SCALE: 1/4"=1'-0"



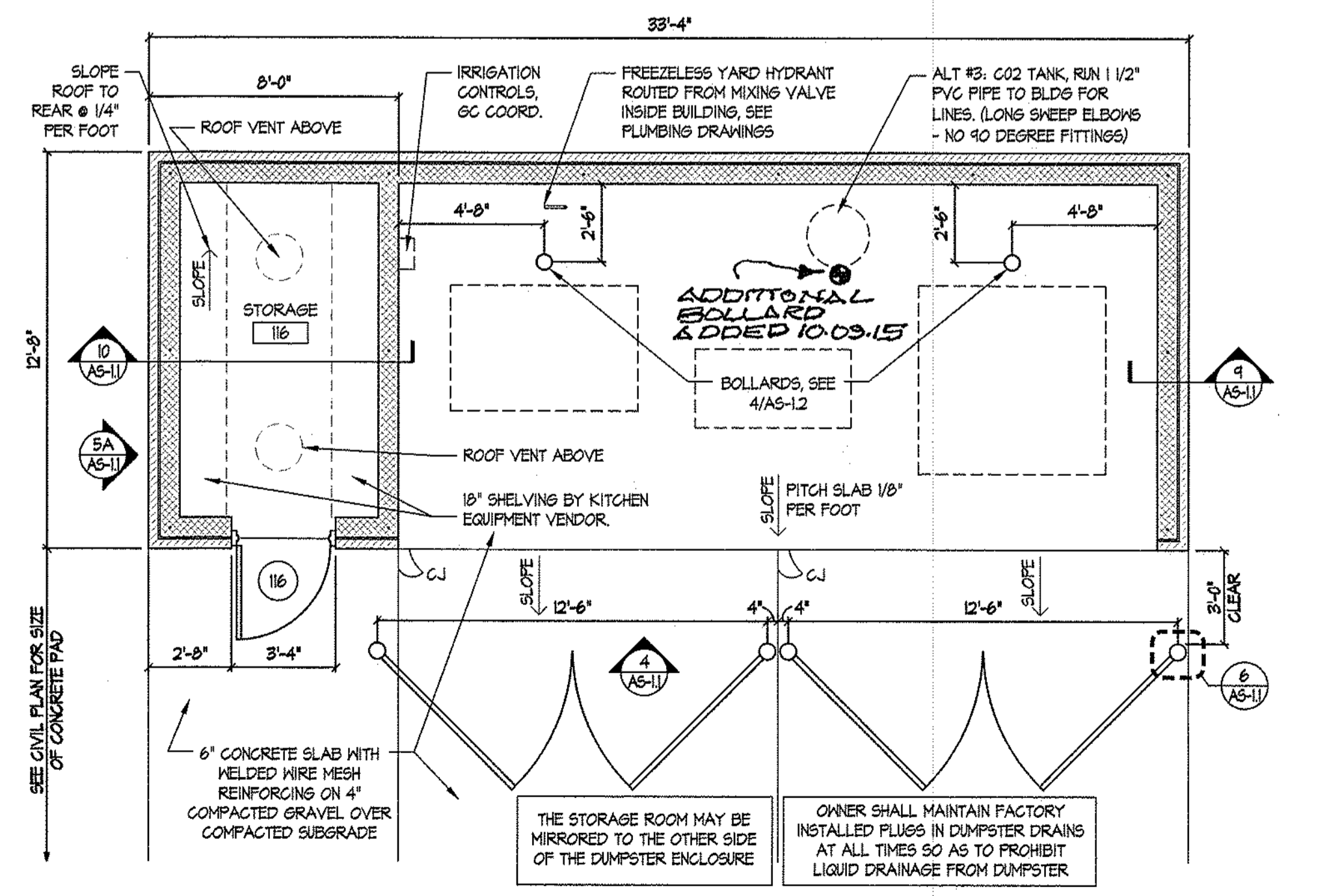
4 WASTE ENCLOSURE ELEVATION
SCALE: 1/4"=1'-0"



3 GATE ELEVATION DETAIL
SCALE: 1/2"=1'-0"



2 ALTERNATE #2 WASTE ENCLOSURE PLAN
SCALE: 1/4"=1'-0"



1 WASTE ENCLOSURE PLAN
SCALE: 1/4"=1'-0"

ESD
architecture + interior design
1300 South Mint Street, Suite 300, Charlotte, NC 28203
Email: esd@esdarch.com • Phone: 704-373-1900

ESD
REGISTERED ARCHITECTURAL CORPORATION
NORTH CAROLINA
CERT. NO. 816
CHARLOTTE, NORTH CAROLINA

BOJANGLES' 8 RESTAURANT
COLLEGE ROAD
NEAR UNIVERSITY DR.
WILMINGTON, NORTH CAROLINA

TRAVIS PARKE
REGISTERED PROFESSIONAL ENGINEER
NORTH CAROLINA
10081
7/15/15

ISSUE DATE: 03-19-15
 REVISION 1: 10-03-15
 REVISION 2: _____
 REVISION 3: _____
 REVISION 4: _____
 PROJECT #: 15-129-00
 CONTENT: SITE DETAILS
 PROJECT ARCHITECT: JDP
 DRAWN BY: WCH
 CADD FILE NAME: P:\15-129\CD\AS01-1 SITE DETAILS
 THIS DRAWING AND THE DESIGN SHOWN ARE THE PROPERTY OF BOJANGLES RESTAURANTS INC. THE REPRODUCTION OR USE OF THIS DRAWING WITHOUT THEIR WRITTEN CONSENT IS PROHIBITED. ANY INFREEMENT IS SUBJECT TO LEGAL ACTION.
 Sheet
AS-1.1



520 SOUTH COLLEGE ROAD

CITY OF WILMINGTON
NEW HANOVER COUNTY
NORTH CAROLINA

OWNER: CAJUN PROPERTIES, INC

DATE: MARCH 12, 2015

CONSTRUCTION SCHEDULE -

1. Obtain approval of Plan and any necessary permits, and hold a pre-construction conference prior to commencing any work.
2. Flag work limits and stake-out Phase 1 primary measures, and flag trees for removal and protection.
3. Install Gravel Construction Entrance for Phase 1. Sediment Basin to be constructed during transition from Phase 1 to Phase 2 and operational before 10,000 sf of new BUA is placed.
5. Construct any other sediment control Practices for Phase 2 shown, prior to rough grading parking lot and site, stockpiling material and topsoil as necessary.
6. Install utilities in parking lot, establish final grades and stabilize parking areas with stone base course.
7. Final grade building site, install non-municipal utilities as needed, and vegetatively stabilize areas where building construction is not imminent.
8. All erosion and sediment control Practices are to be inspected weekly and after any rainfall, and repaired as necessary.
9. Upon completion of building construction, the roadway and parking areas are to be paved and all areas permanently vegetatively stabilized. After site stabilization, temporary measures are to be removed and the Sediment Basin cleaned to its original design contours, if necessary, and riser structures arifacts opened, so as to function as a stormwater management / water quality retention pond.

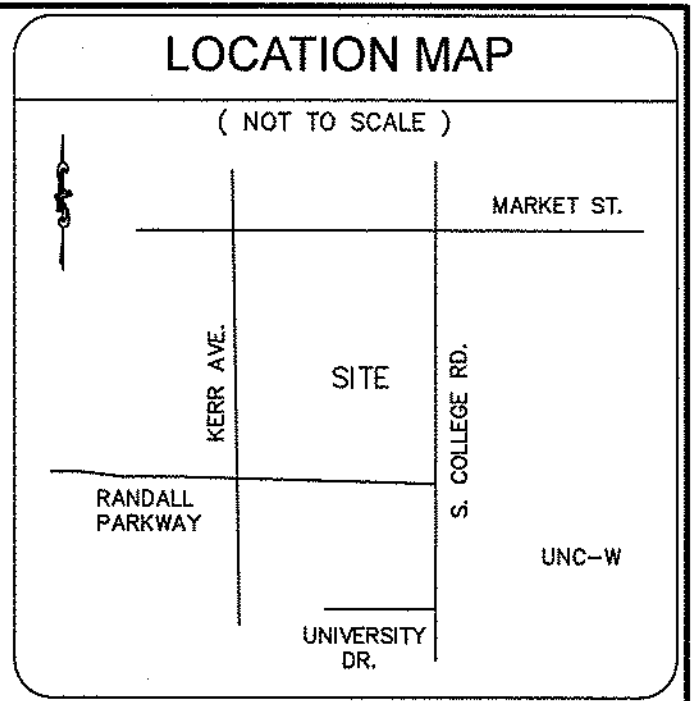
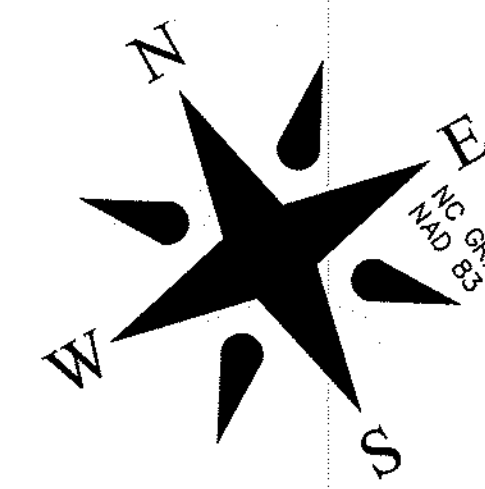
SEE SHEET 3 OF 4 FOR ADDITIONAL EROSION CONTROL PRACTICES AND DETAILS

PHASING SCHEDULE -

1. Phase I construction to be completed and new building substantially completed prior to commencing Phase 2.
2. Contractor to coordinate staging of College Road entrances with NCDOT and the City of Wilmington. Terms of the permit, including night construction, to be coordinated with DOT.
3. Contractor responsible for coordinating re-location of any utilities with the appropriate agencies.

PHASE 2 CONSTRUCTION TO COMMENCE ONLY UPON COMPLETION OF PHASE 1 AND CONTRACTOR NOTIFICATION BY OWNER
SEE SHEET 2 OF 2

NOTE WELL: ADDITIONAL EROSION CONTROL MEASURES REQUIRED FOR ALL WORK IN NCDOT R/W. SEE DRIVEWAY PLAN.



STORMWATER MANAGEMENT PLAN APPROVED CITY OF WILMINGTON ENGINEERING DEPARTMENT DATE PERMIT # SIGNED

Approved Construction Plan Name Date Planning Traffic Fire

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

ADDITIONAL NOTES
THIS PROPERTY IS LOCATED IN FLOOD ZONE X ACCORDING TO FIRM MAP 372031374, EFFECTIVE DATE APRIL 3, 2006
NO OBSERVED EVIDENCE OF RECENT EARTH MOVING ACTIVITY
NO OBSERVED EVIDENCE OF A SOLID WASTE DUMP
BASED ON RECENT SURVEY AND OBSERVED EVIDENCE NO WETLANDS

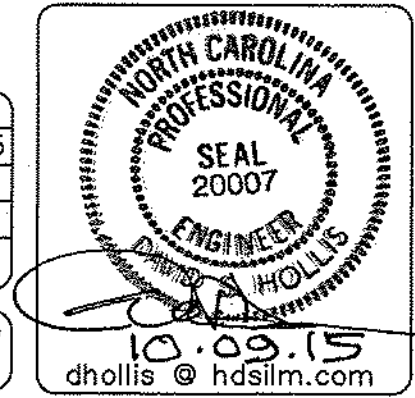
SITE DATA
TAX PARCEL No. R05507-002-069-000
TRACT AREA - 63,300 S.F. 1.45 ACRES
ZONED - O&I (OFFICE & INSTITUTIONAL)
SETBACKS FRONT - 20'
REAR - 25' (RESIDENTIAL)
SIDE - 10'
LOT COVERAGE 40%
30 PARKING SPACES (EXISTING)

NOTES
1. AREA COMPUTED BY COORDINATE METHOD
2. ALL DISTANCES ARE HORIZONTAL GROUND
3. THIS SURVEY IS NOT FOR RECORDATION, IT DOES NOT MEET ALL REQUIREMENTS OF G.S. 47-30.
4. THE UNDERGROUND UTILITIES SHOWN ON THIS SURVEY ARE LOCATED FROM FIELD SURVEY INFORMATION, AND EXISTING ASBUILT DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THE UTILITIES ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
5. FOR REFERENCE SEE DEED BOOK 1991 PAGE 087
6. THIS TRACT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA
7. VERTICAL DATUM NAVD 88
8. 1.45 ACRES TOTAL AREA

ZONED: O&I-1
ADDRESS: 520 S College Road
DEVELOPER: Bojangles Restaurants, Inc. 9432 Southern Pines Blvd. Charlotte, NC 27273 704-940-8669
PARCEL ID: R05507-002-069-000
OWNER: Cajun Properties Inc. 9432 Southern Pines Blvd. Charlotte, NC 28273 704-940-8669

NOTE WELL:
THIS STAGING PLAN IS INTENDED AS AN AID FOR THE CONTRACTOR IN COORDINATING ACCESS TO EXISTING FACILITIES. NOTHING IN THIS PLAN IS INTENDED TO RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES TO COMPLY WITH FEDERAL, STATE, OR CITY REQUIREMENTS AND STANDARDS.

Construction Staging and Demolition Plan & Tree Removal Plan
BOJANGLES'
520 South College Road
LOCATED IN CITY OF WILMINGTON SMITHVILLE TOWNSHIP NEW HANOVER COUNTY, NORTH CAROLINA



DEVELOPER: BOJANGLES' RESTAURANTS INC. 9432 SOUTHERN PINES BLVD. CHARLOTTE, NC 28273 phone: 704-940-8669

HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS, ENGINEERS & LAND PLANNERS
1123 FLORAL PARKWAY WILMINGTON, N.C. 28403 PHONE: (910) 343-8002 LICENSE # C-0597

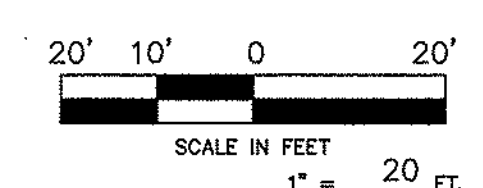
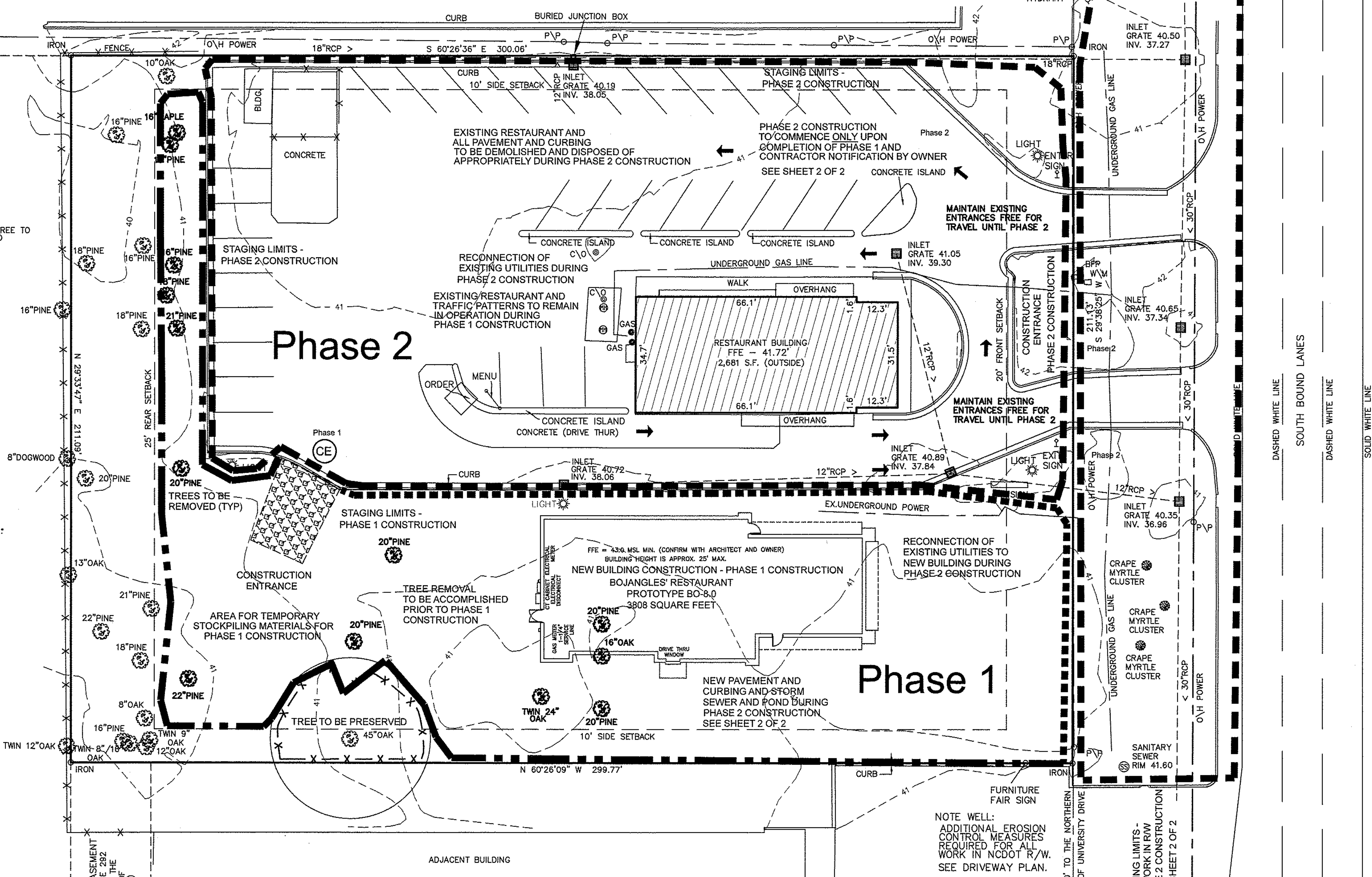
Date: 3-12-15
Scale: 1" = 30'
Drawn: DSH
Checked: DSH
Project No: 12354
Sheet No: 1
Of: 2

TREE INVENTORY	
HARDWOODS	- 10
CONIFER	- 21
FLOWERING	- 1
TOTAL	- 32

TREE REMOVALS	
HARDWOODS	- 3
CONIFER	- 10
FLOWERING	- 0
TOTAL	- 13

INDICATES TREE TO BE REMOVED

CHURCH OF JESUS CHRIST OF WILMINGTON
DEED BOOK 686 PAGE 395
514 SOUTH COLLEGE ROAD



REV. NO.	REVISIONS	DATE
3	MAJOR REVISION TO DRIVEWAY & DOT R/W	10-09-15
2	REVISIONS AS PER REVIEW COMMENTS	9-15-15
1	MAJOR REVISION TO DRIVEWAY & DOT R/W	8-07-15

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520 SOUTH COLLEGE ROAD

CITY OF WILMINGTON
NEW HANOVER COUNTY
NORTH CAROLINA

OWNER: CAJUN PROPERTIES, INC

DATE: MARCH 12, 2015

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

STORMWATER MANAGEMENT PLAN

APPROVED

CITY OF WILMINGTON
ENGINEERING DEPARTMENT

DATE _____

PERMIT # _____

SIGNED _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CHURCH OF JESUS CHRIST OF WILMINGTON
DEED BOOK 686 PAGE 395
514 SOUTH COLLEGE ROAD

SEE SHEET 2 OF THE DOT DRIVEWAY PERMIT PLAN FOR ADDITIONAL EROSION CONTROL PRACTICES AND DETAILS

SKIMMER ATTACHMENT DETAIL

SKIMMER SEDIMENT BASIN (SK)
Practice 6.64

Skimmer is to be attached to the orifice pipe on the outlet structure box, converting the pond to a skimmer sediment basin. Dewatering will be accomplished from the top of the storage down to normal pool during sedimentation function until new excavation is completed and watershed is permanently stabilized and pond is converted to permanent stormwater management detention / retention function, at which time skimmers and baffles are to be removed.

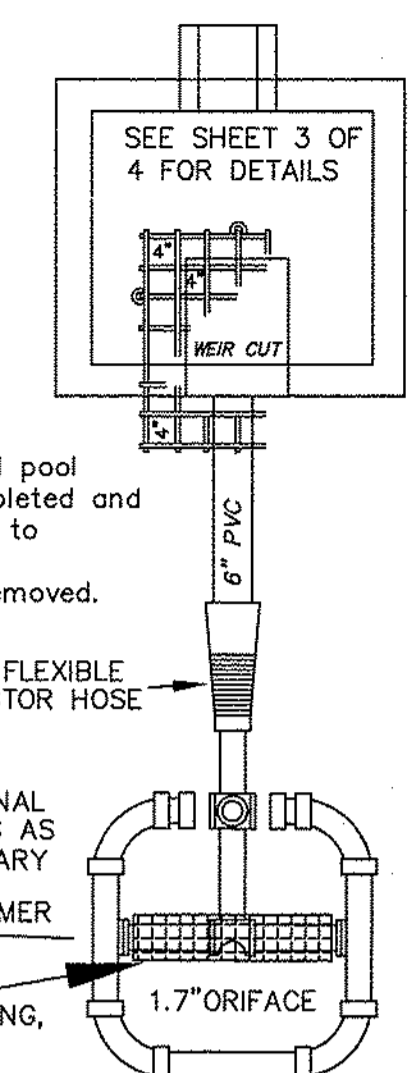
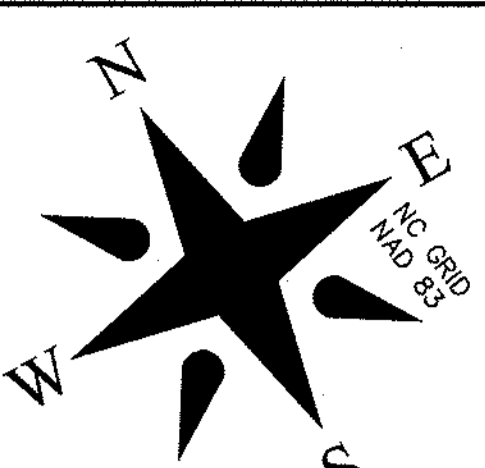
MNFCTR:
J.W. FAIRCLOTH & SON, INC.
412-A BUTTWOOD DRIVE
PO BOX 757
HILLSBOROUGH, NC 27278
www.fairclothskimmer.com

6" X 2" FLEXIBLE CONNECTOR HOSE
ADDITIONAL FITTINGS AS NECESSARY
2" FAIRCLOTH SKIMMER ASSEMBLY, OR EQUIVALENT.
SCREENING, TYPICAL

1.4 acres X 1800 cf/ac.
= 2,520 cf storage required
2" skimmer w/
2" head w/ 1.7" diameter orifice drains 6,000 cf in 3 days as per Faircloth proprietary design recommendations.

MAINTENANCE

1. Skimmer to be inspected weekly and after each significant rain event (1/2 inch or greater) and repaired immediately. Make sure that the skimmer does not become entangled in basin vegetation or trapped in silt due to low water conditions.



TREE INVENTORY

HARDWOODS	10
CONIFER	21
FLOWERING	1
TOTAL	32

TREE REMOVALS

HARDWOODS	3
CONIFER	10
FLOWERING	0
TOTAL	13

NOTE WELL:
THIS STAGING PLAN IS INTENDED AS AN AID FOR THE CONTRACTOR IN COORDINATING ACCESS TO EXISTING FACILITIES. NOTHING IN THIS PLAN IS INTENDED TO RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES TO COMPLY WITH FEDERAL, STATE, OR CITY REQUIREMENTS AND STANDARDS.

K PARTNERSHIP
DEED BOOK 2389 PAGE 592

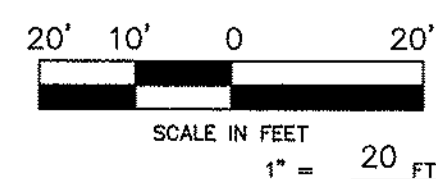
ZONED: O&I-1
ADDRESS: 520 S College Road
DEVELOPER: Bojangles Restaurants, Inc.
9432 Southern Pines Blvd.
Charlotte, NC 28273
704-940-8669

PARCEL ID: R05507-002-069-000
OWNER: Cajun Properties Inc.
9432 Southern Pines Blvd.
Charlotte, NC 28273
704-940-8669

LEGEND

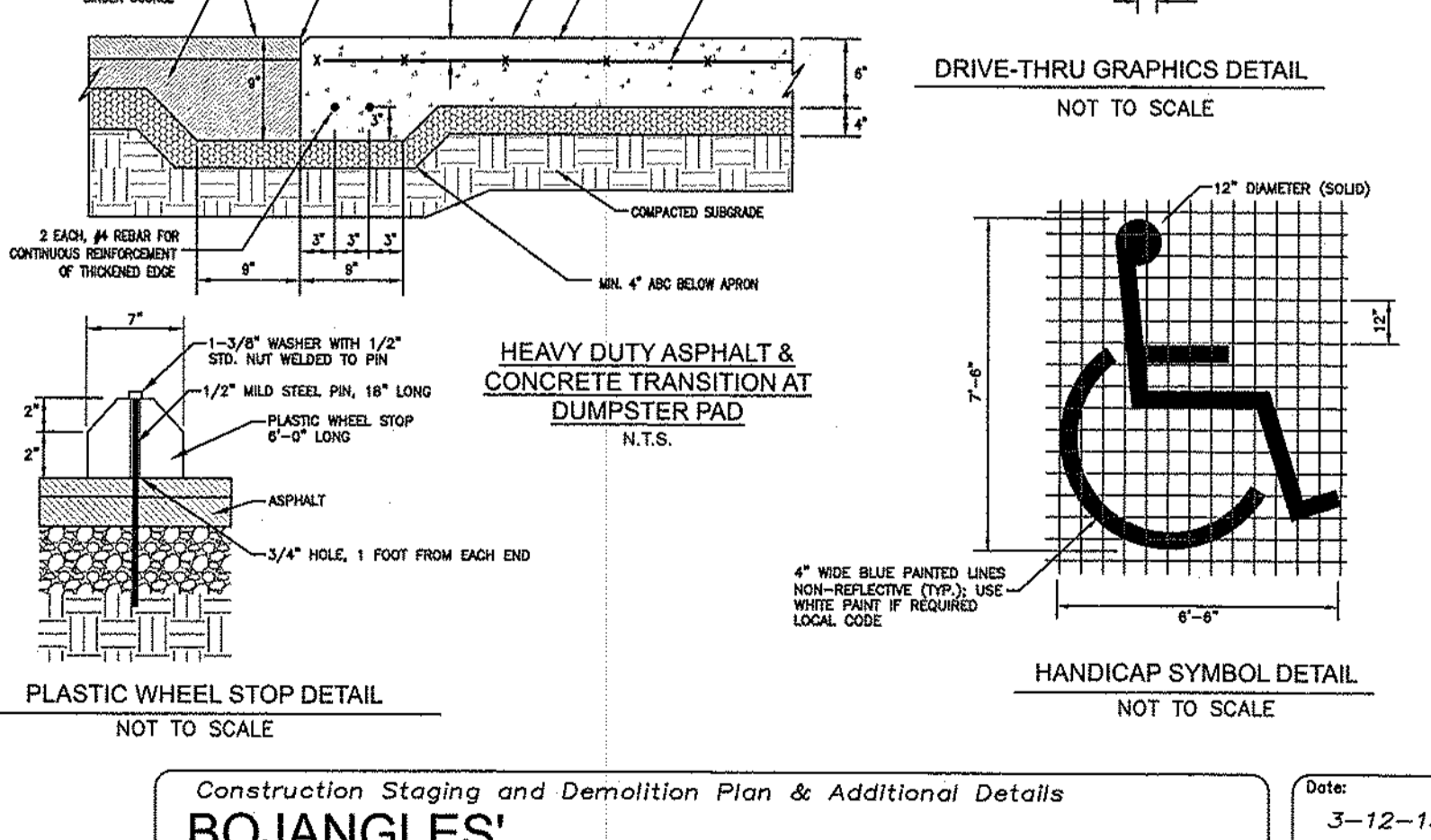
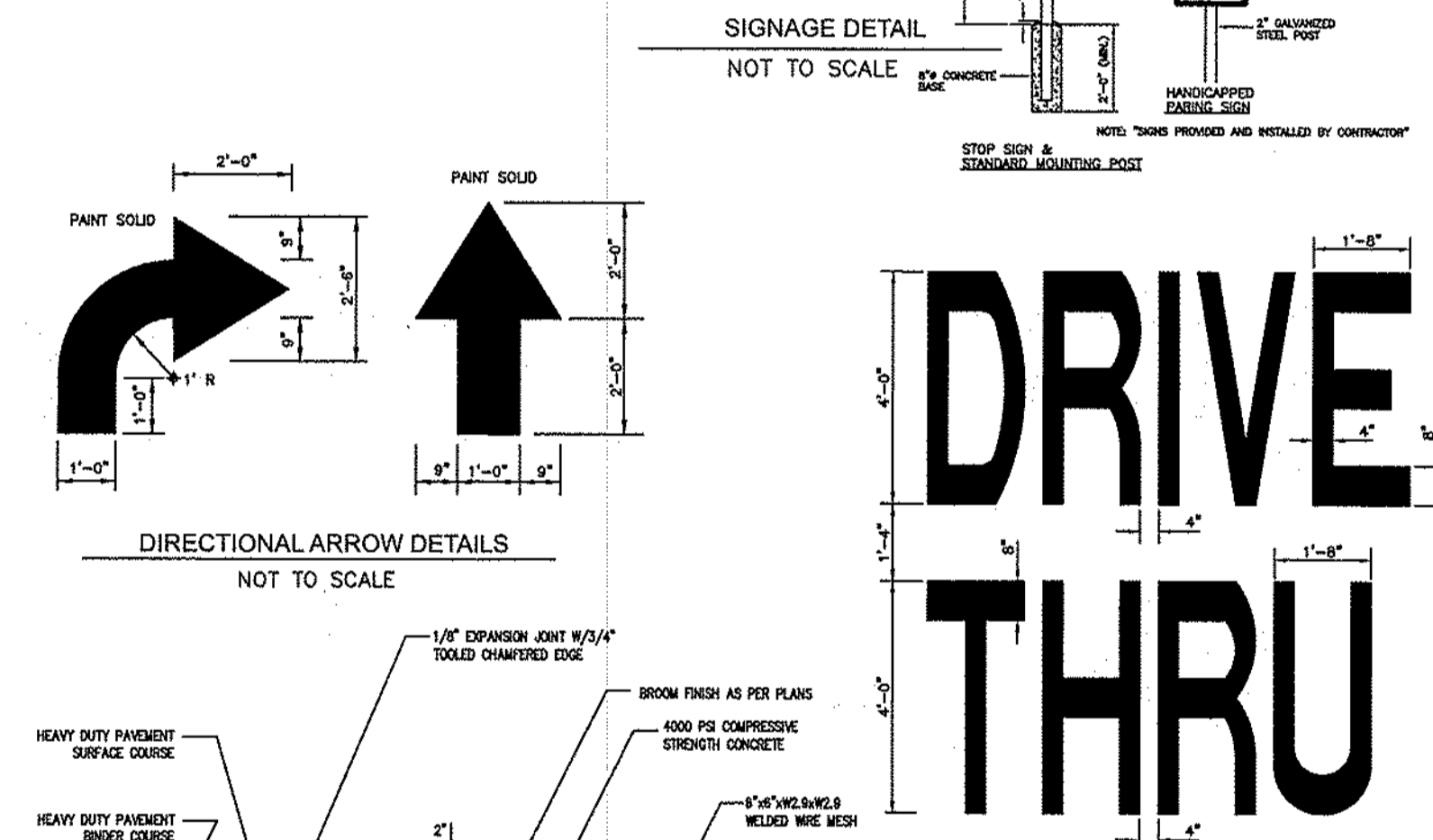
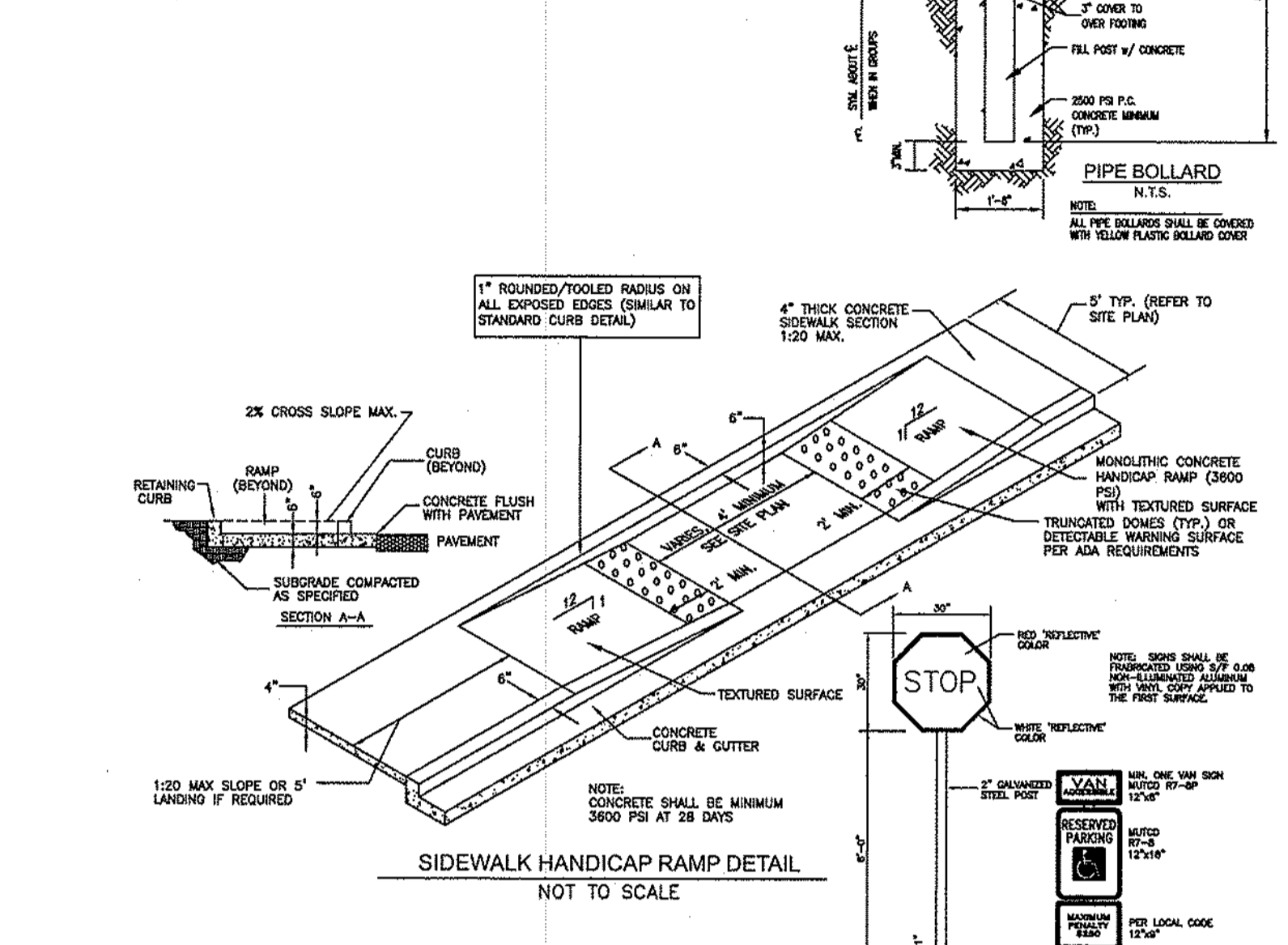
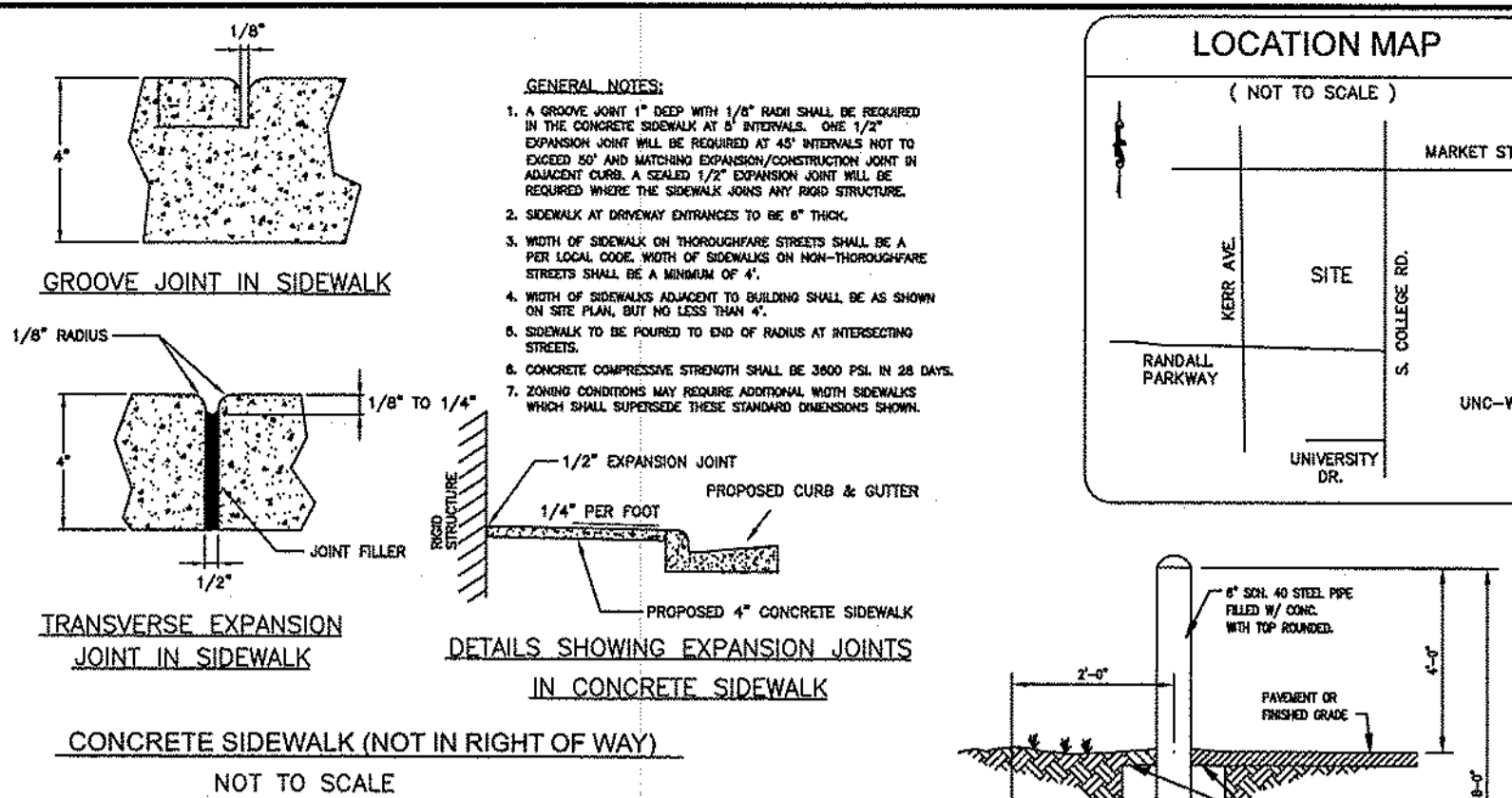
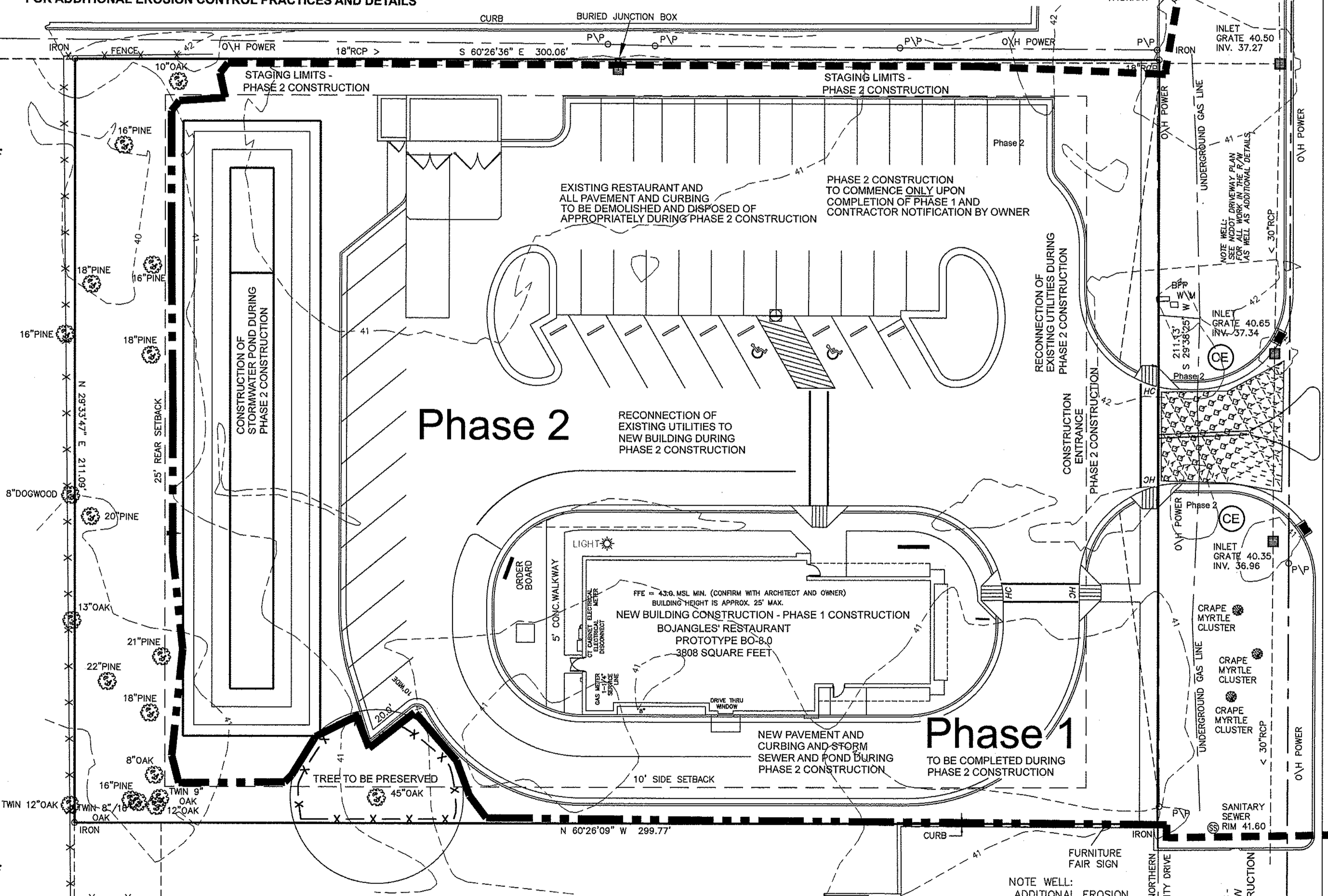
- C/O - CLEAN OUT
- P/P - POWER POLE
- INV. - INVERT
- BFP - BACK FLOW PREVENTER
- WM - WATER METER
- C/O - CLEAN OUT
- O/H - OVERHEAD
- U/G - UNDERGROUND
- X-X - FENCE

BOOMTOWN ADVISORS LLC
DEED BOOK 5737 PAGE 1502
524 SOUTH COLLEGE ROAD



REV. NO.	REVISIONS	DATE
3	MAJOR REVISIONS TO DOT DRIVEWAY	10-09-15
2	REVISIONS AS PER REVIEW COMMENTS	9-15-15
1	MAJOR REVISION TO DRIVEWAY & DOT R/W	8-07-15

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Construction Staging and Demolition Plan & Additional Details

BOJANGLES'
520 South College Road
LOCATED IN CITY OF WILMINGTON

SMITHVILLE TOWNSHIP
NEW HANOVER COUNTY, NORTH CAROLINA

DEVELOPER: BOJANGLES' RESTAURANTS INC.
9432 SOUTHERN PINES BLVD.,
CHARLOTTE, NC 28273 phone: 704-940-8669

HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS, ENGINEERS & LAND PLANNERS
1123 FLORAL PARKWAY
WILMINGTON, N.C. 28403
PHONE: (910) 343-8002
LICENSE # C-0997

Date: 3-12-15
Scale: 1" = 30'
Drawn: DSH
Checked: DSH
Project No: 12354
Sheet No: 2
Of: 2

Professional Engineer Seal: 2007, David A. Hollis, No. 10,0915, dhollis@hdsim.com



520 SOUTH COLLEGE ROAD

CITY OF WILMINGTON
NEW HANOVER COUNTY
NORTH CAROLINA

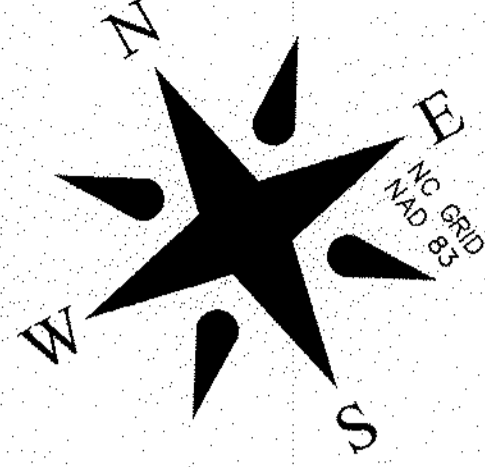
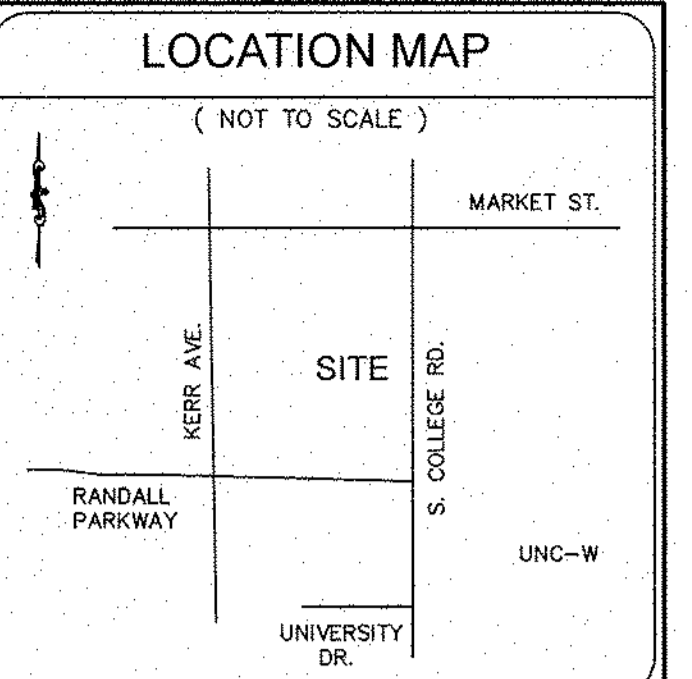
OWNER: CAJUN PROPERTIES, INC

DATE: DEC. 23, 2014
REVISED FEB. 26, 2015

PROPERTY DESCRIPTION
A CERTAIN TRACT OR PARCEL OF LAND LYING AND BEING IN THE CITY OF WILMINGTON, NEW HANOVER COUNTY, NORTH CAROLINA AND BEING THAT TRACT AS DESCRIBED IN DEED BOOK 1991 PAGE 087, RECORDS OF NEW HANOVER COUNTY AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON ON THE WESTERN RIGHT OF WAY OF SOUTH COLLEGE ROAD (200' PUBLIC RIGHT OF WAY), SAID IRON BEING LOCATED N 29-38-25 W 470.00' FROM THE INTERSECTION OF THE WESTERN RIGHT OF WAY OF SOUTH COLLEGE ROAD AND THE NORTHERN RIGHT OF WAY OF UNIVERSITY DRIVE; PROCEED FROM SAID POINT OF BEGINNING AND LEAVING SAID WESTERN RIGHT OF WAY N 60-26-08 W 299.77' TO AN IRON, THENCE N 29-33-47 E 211.09 FT. TO AN IRON, THENCE S 60-26-36 E 300.06' TO AN IRON ON SAID WESTERN RIGHT OF WAY, THENCE WITH SAID RIGHT OF WAY S 29-38-25 W 211.13' TO THE POINT OF BEGINNING AND CONTAINING 1.45 ACRES ACCORDING TO A SURVEY BY HANOVER DESIGN SERVICES, P.A. IN DECEMBER OF 2014.

[Signature]
JONATHAN L. WAYNE
PROFESSIONAL LAND SURVEYOR PLS 3391
03-12-15
DATE



CHICAGO TITLE INSURANCE COMPANY ALTA COMMITMENT No. 14-226970H
EXCEPTIONS FROM SCHEDULE B - SECTION II

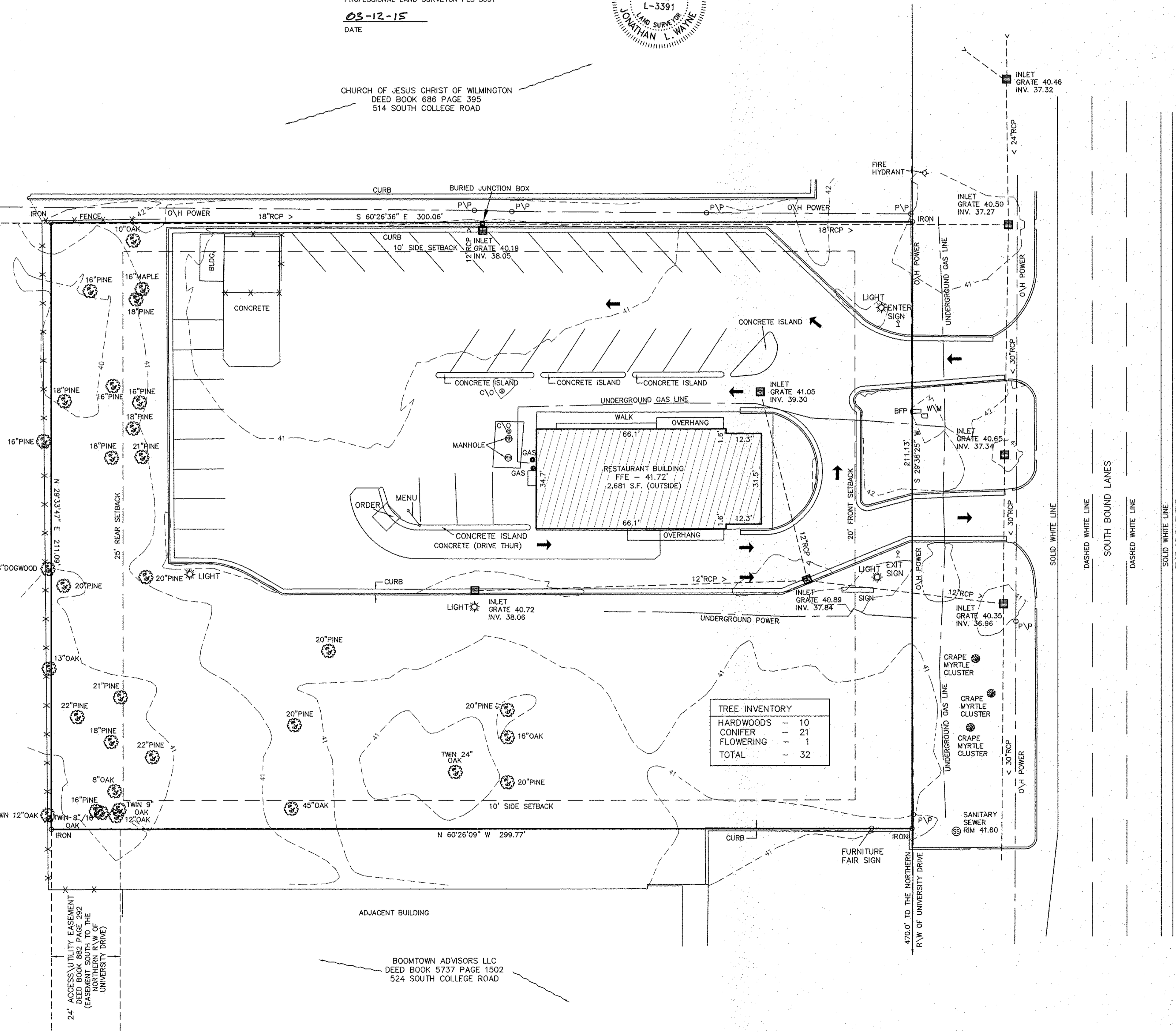
EXCEPTION No.	COMMENTS
1	EXCEPTION NOT A MATTER OF SURVEY
2	EXCEPTION NOT A MATTER OF SURVEY
3	NO DISCREPANCY FOUND
4	AREA SHOWN
5	BLANKET UTILITY EASEMENT FOR CONSTRUCTION AND MAINTENANCE OF ELECTRICAL EQUIPMENT
6	EASEMENT ON ADJACENT TRACTS, SHOWN ON SURVEY
7	LEASE, NOT A MATTER OF SURVEY

ADDITIONAL NOTES
THIS PROPERTY IS LOCATED IN FLOOD ZONE X ACCORDING TO FIRM MAP 37203137J, EFFECTIVE DATE APRIL 3, 2006
NO OBSERVED EVIDENCE OF RECENT EARTH MOVING ACTIVITY
NO OBSERVED EVIDENCE OF A SOLID WASTE DUMP
BASED ON RECENT SURVEY AND OBSERVED EVIDENCE NO WETLANDS

SITE DATA
TAX PARCEL No. R05507-002-069-000
TRACT AREA - 63,300 S.F. 1.45 ACRES
ZONED - O&I (OFFICE & INSTITUTIONAL)
SETBACKS FRONT - 20'
REAR - 25' (RESIDENTIAL)
SIDE - 10'
LOT COVERAGE 40%
30 PARKING SPACES (EXISTING)

- NOTES
1. AREA COMPUTED BY COORDINATE METHOD
 2. ALL DISTANCES ARE HORIZONTAL GROUND
 3. THIS SURVEY IS NOT FOR RECORDATION, IT DOES NOT MEET ALL REQUIREMENTS OF G.S. 47-30.
 4. THE UNDERGROUND UTILITIES SHOWN ON THIS SURVEY ARE LOCATED FROM FIELD SURVEY INFORMATION, AND EXISTING AS-BUILT DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THE UTILITIES ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
 5. FOR REFERENCE SEE DEED BOOK 1991 PAGE 087
 6. THIS TRACT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA
 7. VERTICAL DATUM NAVD 88
 8. 1.45 ACRES TOTAL AREA

SOUTH COLLEGE ROAD
200 FT. PUBLIC RIGHT OF WAY



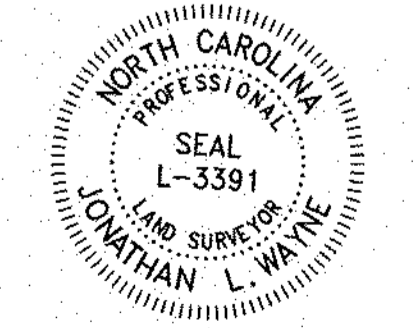
TREE INVENTORY

HARDWOODS	10
CONIFER	21
FLOWERING	1
TOTAL	32

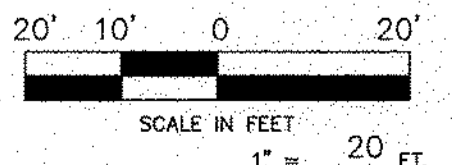
- LEGEND
- C/O - CLEAN OUT
 - P/P - POWER POLE
 - INV. - INVERT
 - BFP - BACK FLOW PREVENTER
 - W/M - WATER METER
 - C/O - CLEAN OUT
 - O/H - OVERHEAD
 - U/G - UNDERGROUND
 - * - FENCE

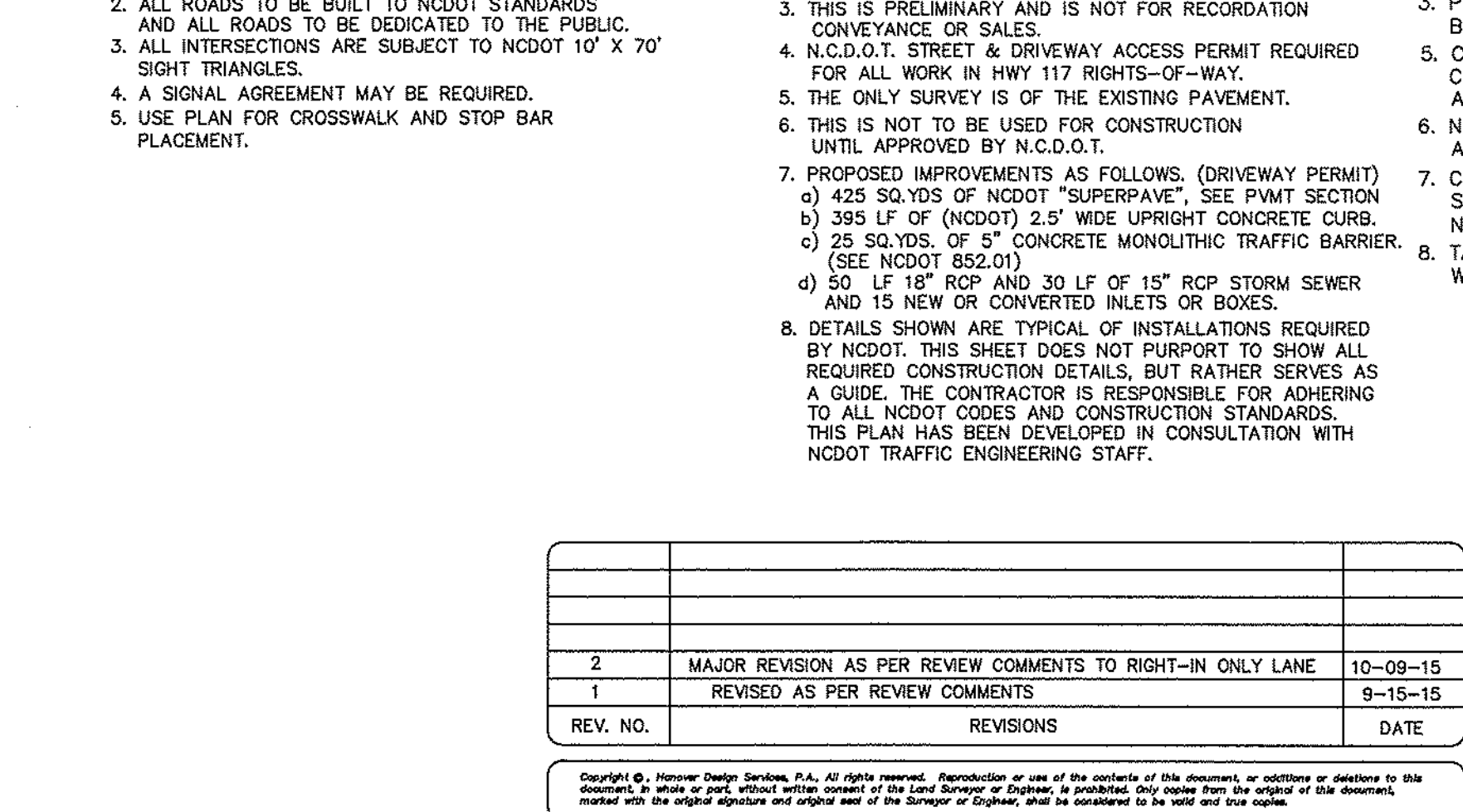
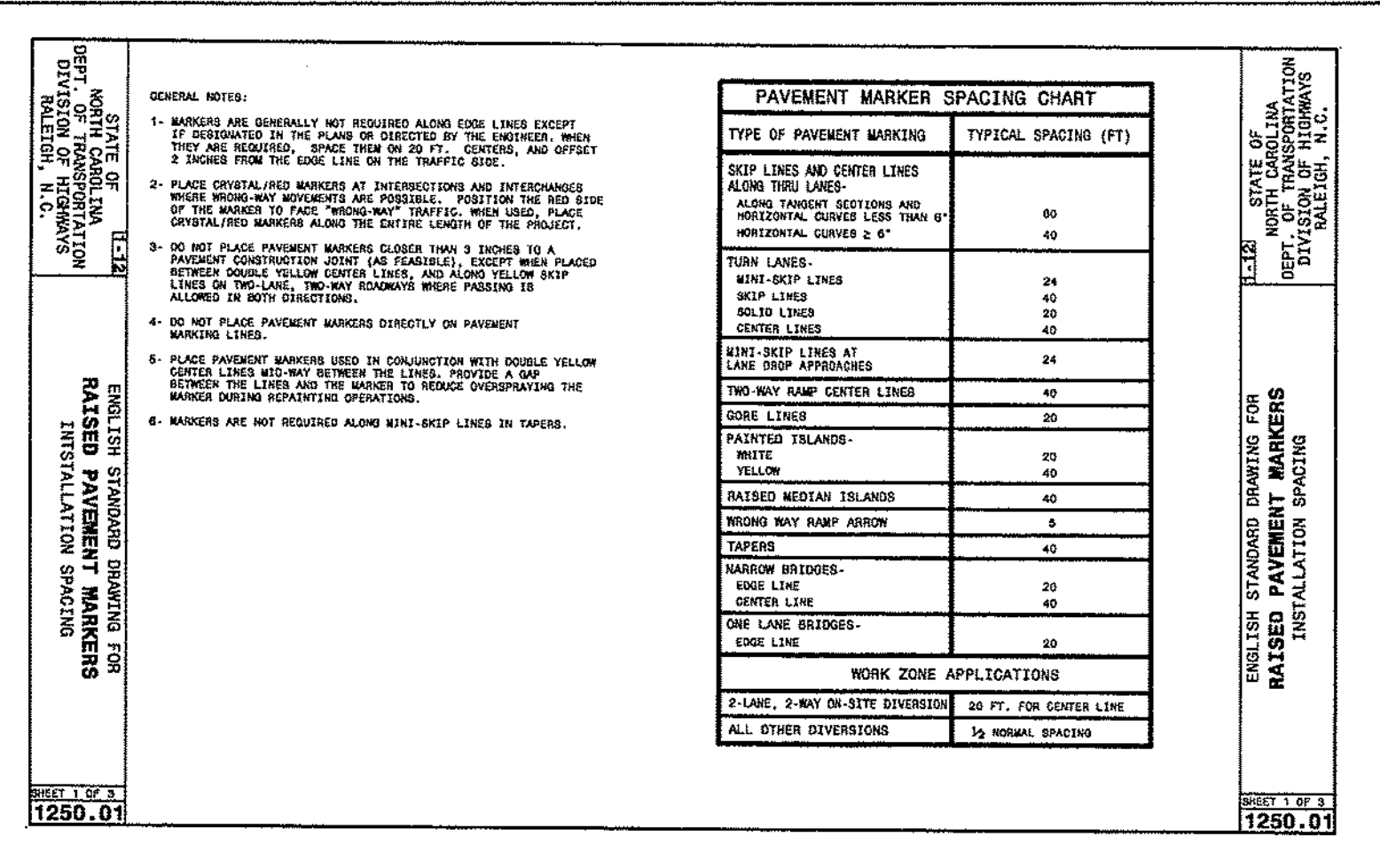
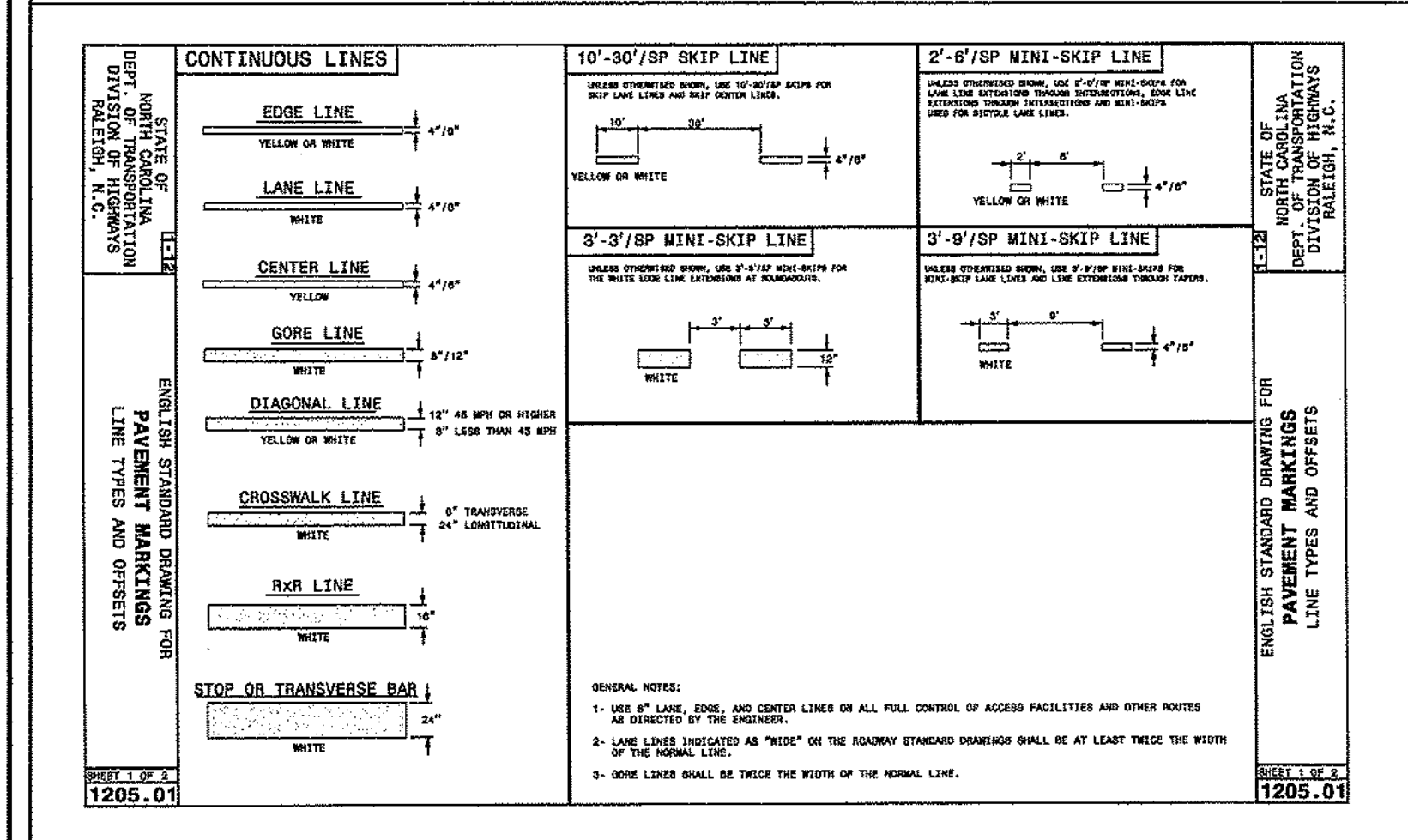
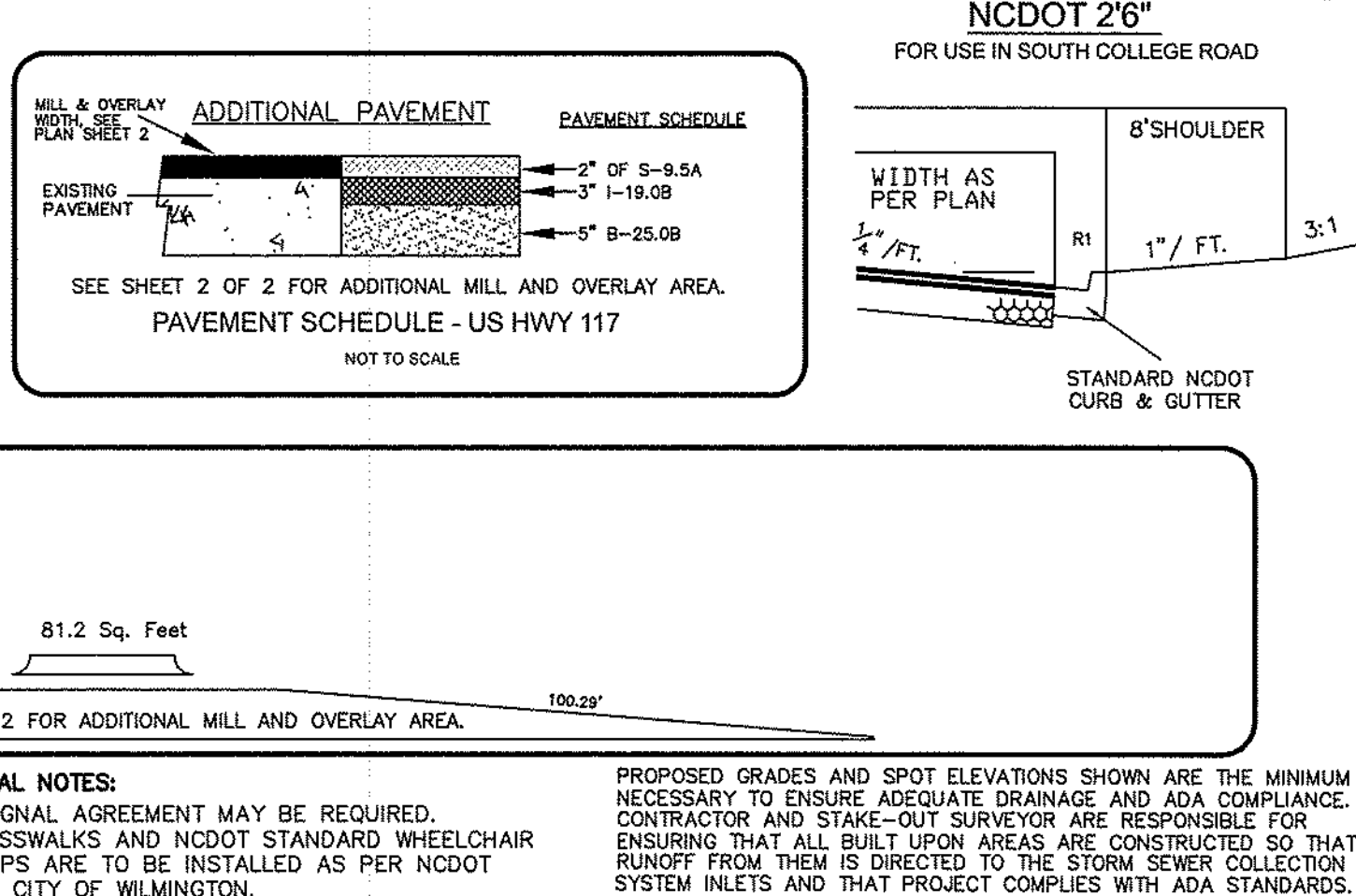
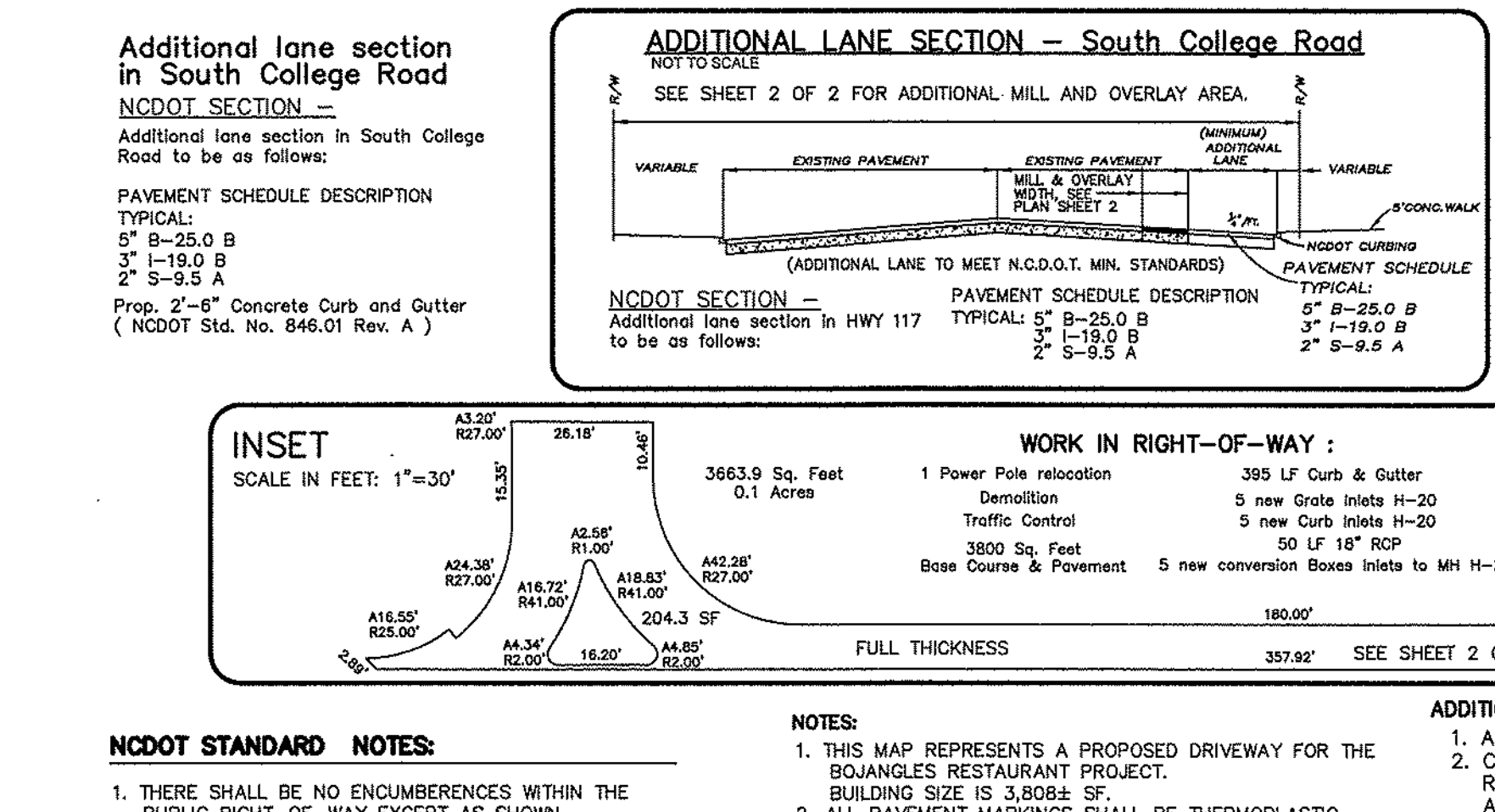
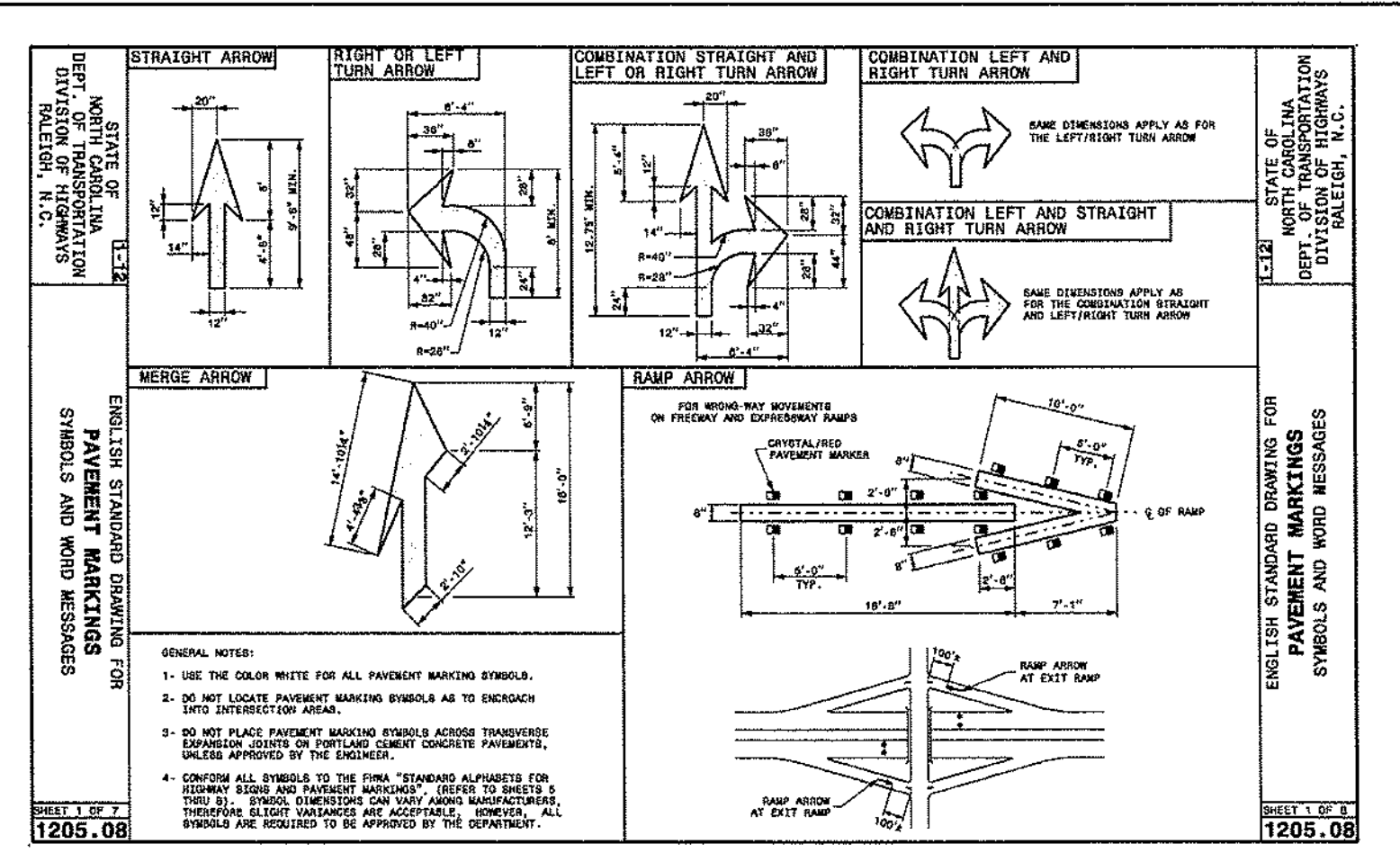
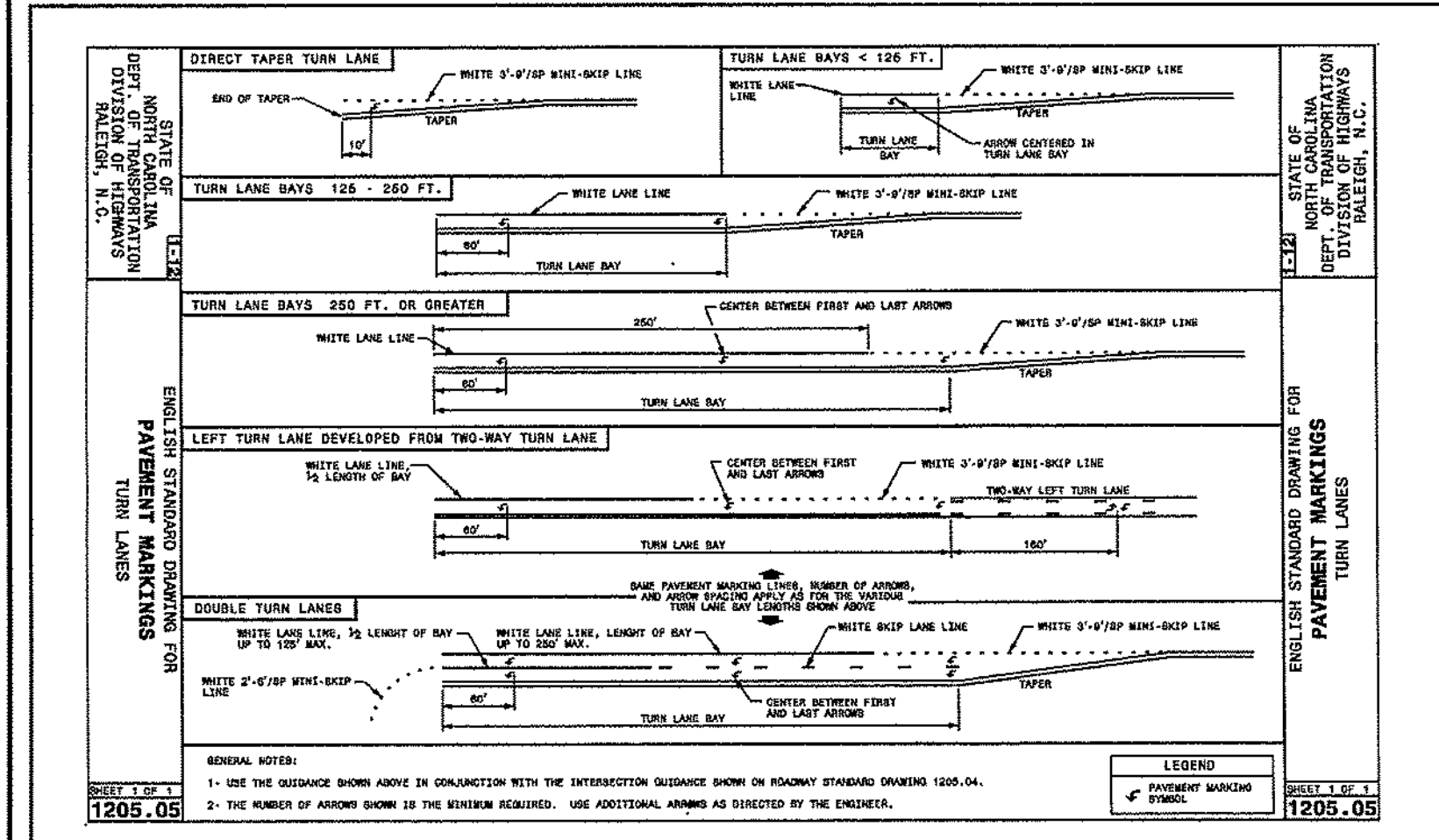
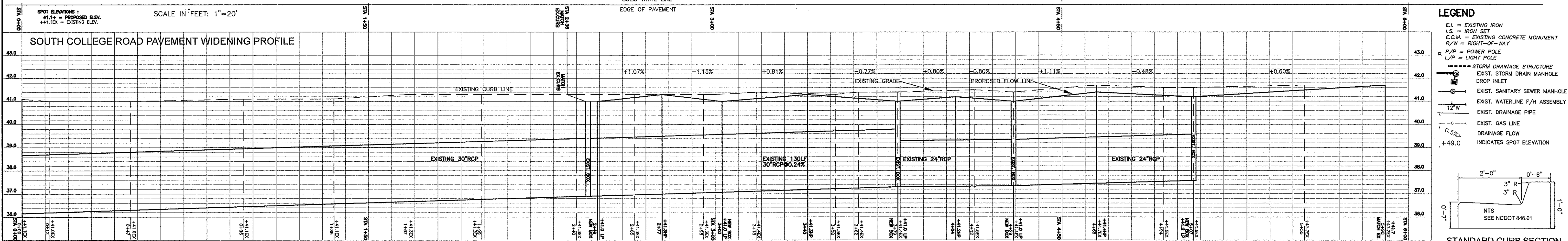
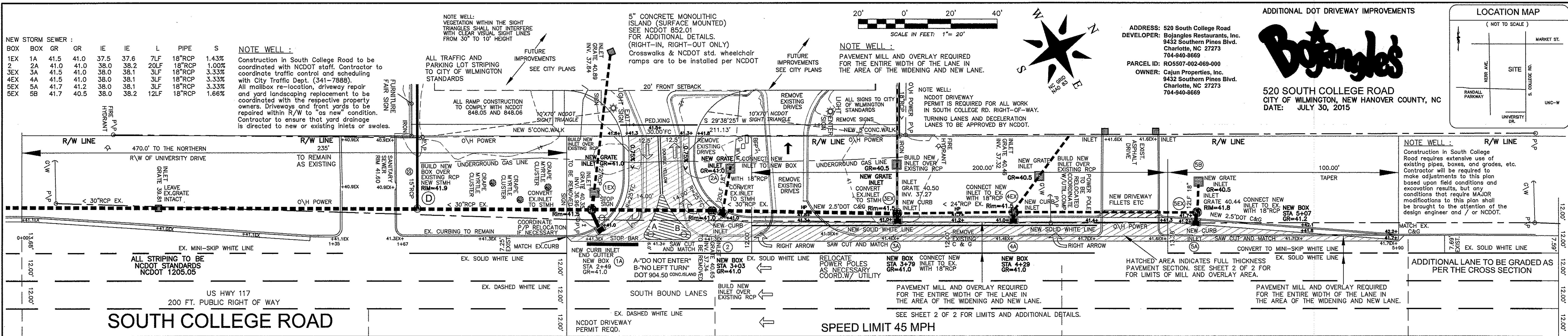
SURVEYOR'S CERTIFICATE
THE UNDERSIGNED HEREBY CERTIFIES, AS OF DEC. 23, 2014, TO CAJUN PROPERTIES, INC. CHICAGO TITLE INSURANCE COMPANY, BOJANGLES RESTAURANTS, INC. AND HIS SUCCESSORS AND/OR ASSIGNS. THAT HE IS A DULY LICENSED LAND SURVEYOR OF THE STATE OF NORTH CAROLINA; THAT THIS PLAT OF SURVEY IS MADE AT LEAST IN ACCORDANCE WITH THE MINIMUM STANDARDS ESTABLISHED BY SAID STATE FOR SURVEYS AND LAND SURVEYORS AND WITH THE 2011 MINIMUM DETAIL REQUIREMENTS FOR LAND TITLE SURVEYS AS ADOPTED BY THE AMERICAN LAND TITLE ASSOCIATION AND AMERICAN CONGRESS ON SURVEYING AND MAPPING; AND INCLUDES ITEMS OF TABLE A 1,2,3,4,5,6,7,6,7,8,9,10,11,12,13,14,16,17,18,19,20 THEREOF. THE FIELD WORK WAS COMPLETED ON 12/10/14. THAT THE SURVEY CORRECTLY SHOWS THE LOCATION OF ALL BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE SUBJECT PREMISES; AND THAT, EXCEPT AS SHOWN, THERE ARE NO VISIBLE EASEMENTS OR RIGHT OF WAY ACROSS SAID PREMISES OR ANY OTHER EASEMENTS OR RIGHTS OF WAY OF WHICH THE UNDERSIGNED HAS BEEN ADVISED, NO PARTY WALLS, NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY OF SAID BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS UNLESS SHOWN ON SURVEY, AND NO ENCROACHMENTS ONTO SAID PREMISES BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISE UNLESS SHOWN ON SURVEY.

[Signature]
JONATHAN L. WAYNE
PROFESSIONAL LAND SURVEYOR PLS 3391
03-12-15
DATE



HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS ENGINEERS LAND PLANNERS
1123 FLORAL PARKWAY
WILMINGTON, N.C. 28403
PHONE: (910) 343-8002
FAX: (910) 343-9941
FIRM CERT. C-0597





ADDITIONAL DRIVEWAY IMPROVEMENTS

BOJANGLES'

520 SOUTH COLLEGE ROAD
CITY OF WILMINGTON, NEW HANOVER COUNTY, NC
DATE: JULY 30, 2015

ADDRESS: 520 South College Road
DEVELOPER: Bojangles Restaurants, Inc. 9432 Southern Pines Blvd. Charlotte, NC 27273 704-940-8669
PARCEL ID: R05507-002-069-000
OWNER: Cajun Properties, Inc. 9432 Southern Pines Blvd. Charlotte, NC 27273 704-940-8669

SMITHVILLE TOWNSHIP
NEW HANOVER COUNTY, NORTH CAROLINA

DATE: 7-08-15
SCALE: 1"=20'
DRAWN: DSH
CHECKED: DSH
PROJECT NO.: 12354
SHEET NO.: 1
OF: 2

HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS, ENGINEERS & LAND PLANNERS
1123 FLORAL PARKWAY
WILMINGTON, N.C. 28403
PHONE: (910) 343-8002
LICENSE # C-0597

LEGEND:

- E.I. = EXISTING IRON
- I.S. = IRON SET
- E.C.M. = EXISTING CONCRETE MONUMENT
- R/W = RIGHT-OF-WAY
- P/P = POWER POLE
- L/P = LIGHT POLE
- STORM DRAINAGE STRUCTURE
- EXIST. STORM DRAIN MANHOLE
- DROP INLET
- EXIST. SANITARY SEWER MANHOLE
- EXIST. WATERLINE F/H ASSEMBLY
- EXIST. DRAINAGE PIPE
- EXIST. GAS LINE
- DRAINAGE FLOW
- INDICATES SPOT ELEVATION

NOTE: ADDITIONAL EROSION CONTROL LIMITS OF DISTURBANCE IN R/W \leq 0.6 ACRE SEE SHEET 3 OF 4 FOR ADDITIONAL DETAILS AND MAINTENANCE SCHEDULE.

NOTE WELL:

Construction in South College Road to be coordinated with NCDOT staff. Contractor to coordinate traffic control and scheduling with City Traffic Dept. (341-7888). All mailbox re-location, driveway repair and yard landscaping replacement to be coordinated with the respective property owners. Driveways and front yards to be repaired within R/W to "as new" condition. Contractor to ensure that yard drainage is directed to new or existing inlets or swales.

NOTE WELL: VEGETATION WITHIN THE SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' TO 10' HEIGHT

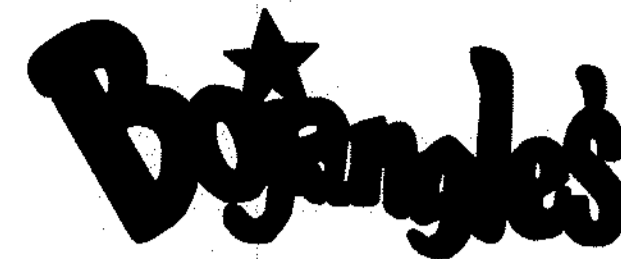
ALL TRAFFIC AND PARKING LOT STRIPING TO CITY OF WILMINGTON STANDARDS

5" CONCRETE MONOLITHIC ISLAND (SURFACE MOUNTED) ISLE NCDOT 852.01 FOR ADDITIONAL DETAILS. (RIGHT-IN, RIGHT-OUT ONLY) Crosswalks & NCDOT std. wheelchair ramps are to be installed per NCDOT

NOTE WELL: PAVEMENT MILL AND OVERLAY REQUIRED FOR THE ENTIRE WIDTH OF THE LANE IN THE AREA OF THE WIDENING AND NEW LANE.

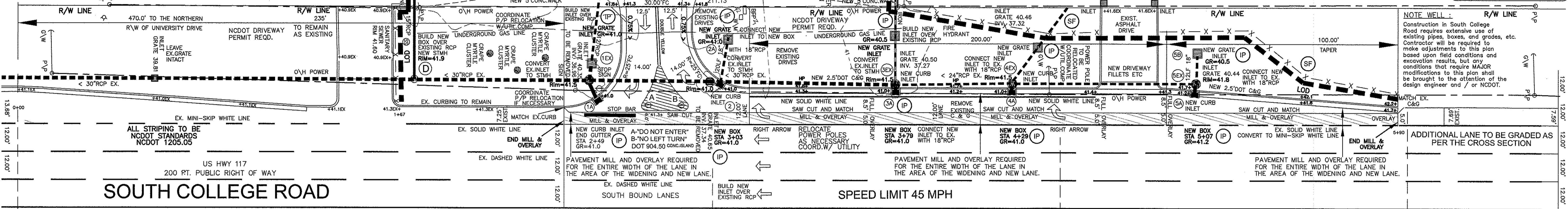
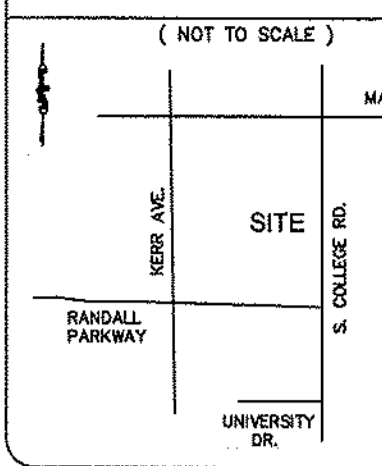
NOTE WELL: NCDOT DRIVEWAY PERMIT IS REQUIRED FOR ALL WORK IN SOUTH COLLEGE RD. RIGHT-OF-WAY. TURNING LANES AND DECLARATION LANES TO BE APPROVED BY NCDOT.

ADDRESS: 520 South College Road
DEVELOPER: Bojangles Restaurants, Inc.
9432 Southern Pines Blvd.
Charlotte, NC 27273
704-940-8660
PARCEL ID: RO5507-002-069-000
OWNER: Cajun Properties, Inc.
9432 Southern Pines Blvd.
Charlotte, NC 27273
704-940-8669



520 SOUTH COLLEGE ROAD
CITY OF WILMINGTON, NEW HANOVER COUNTY, NC
DATE: JULY 30, 2015

LOCATION MAP



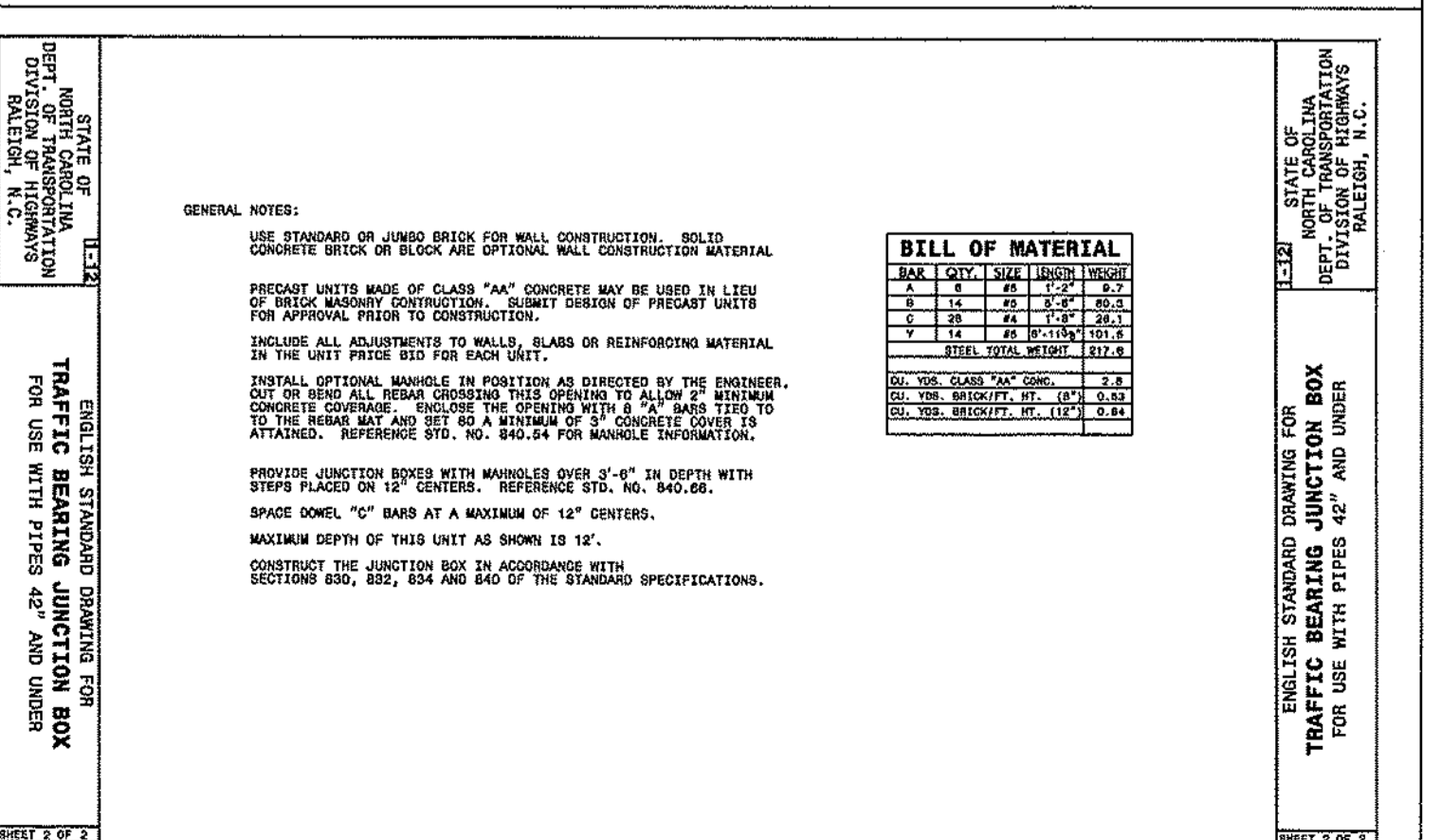
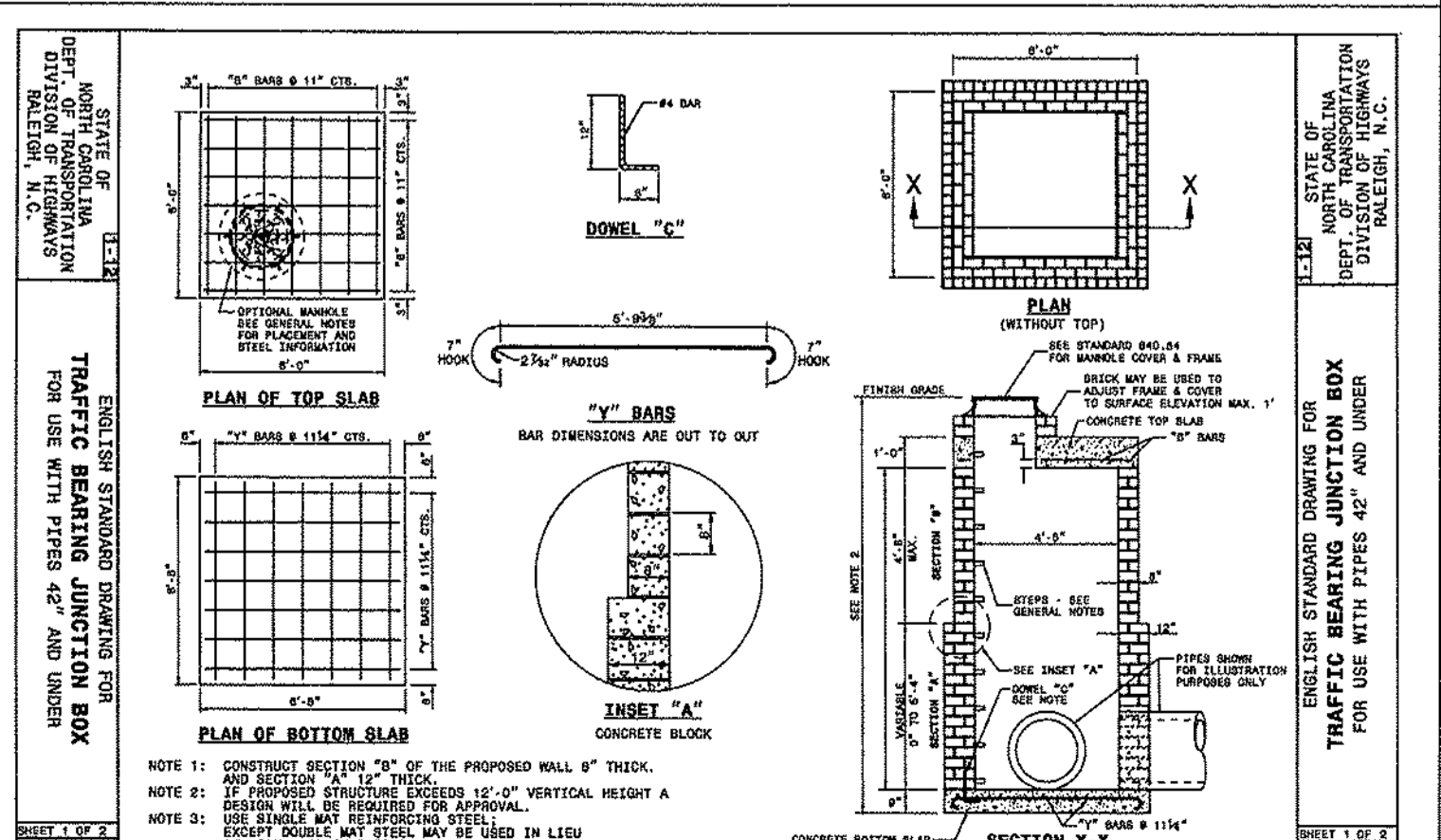
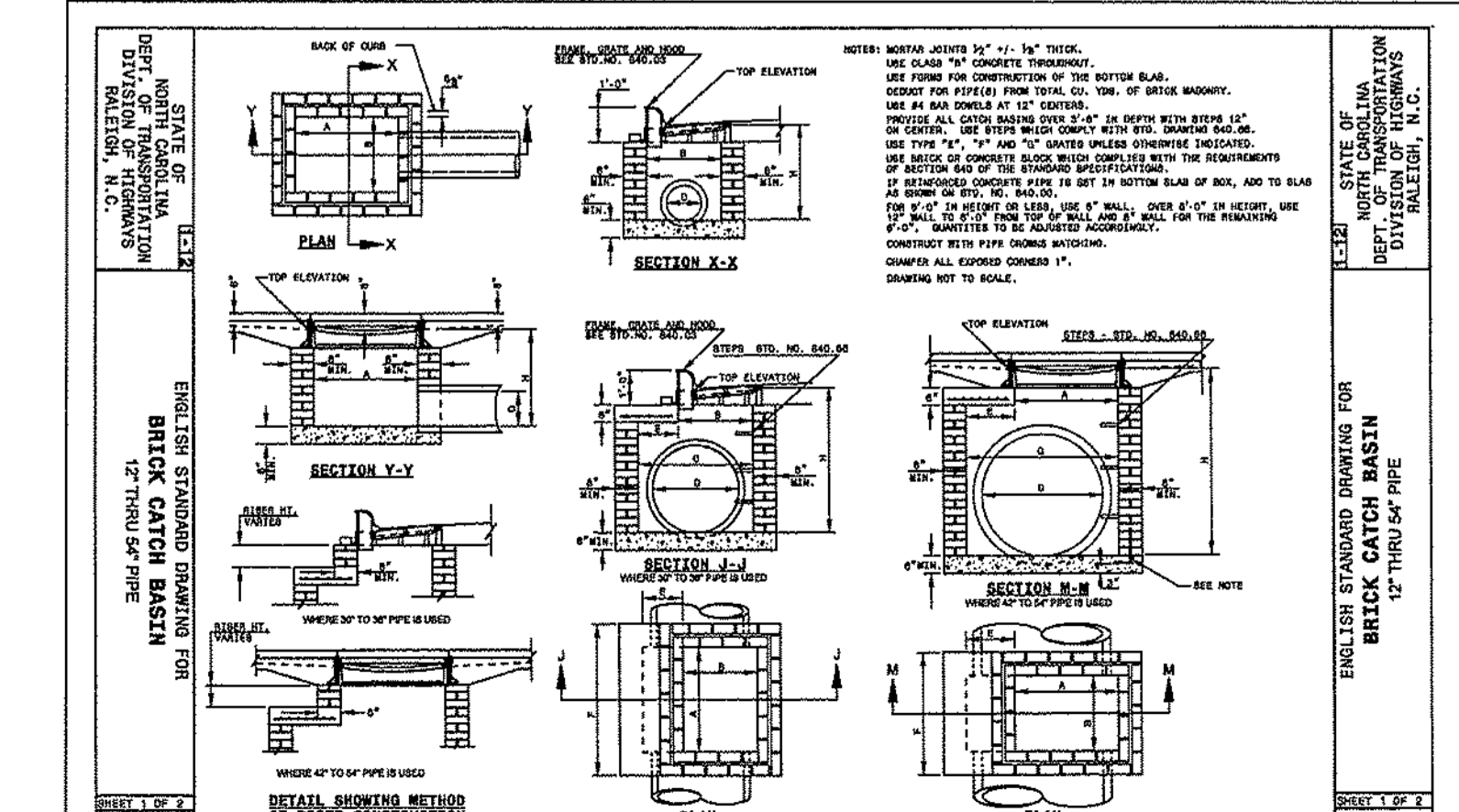
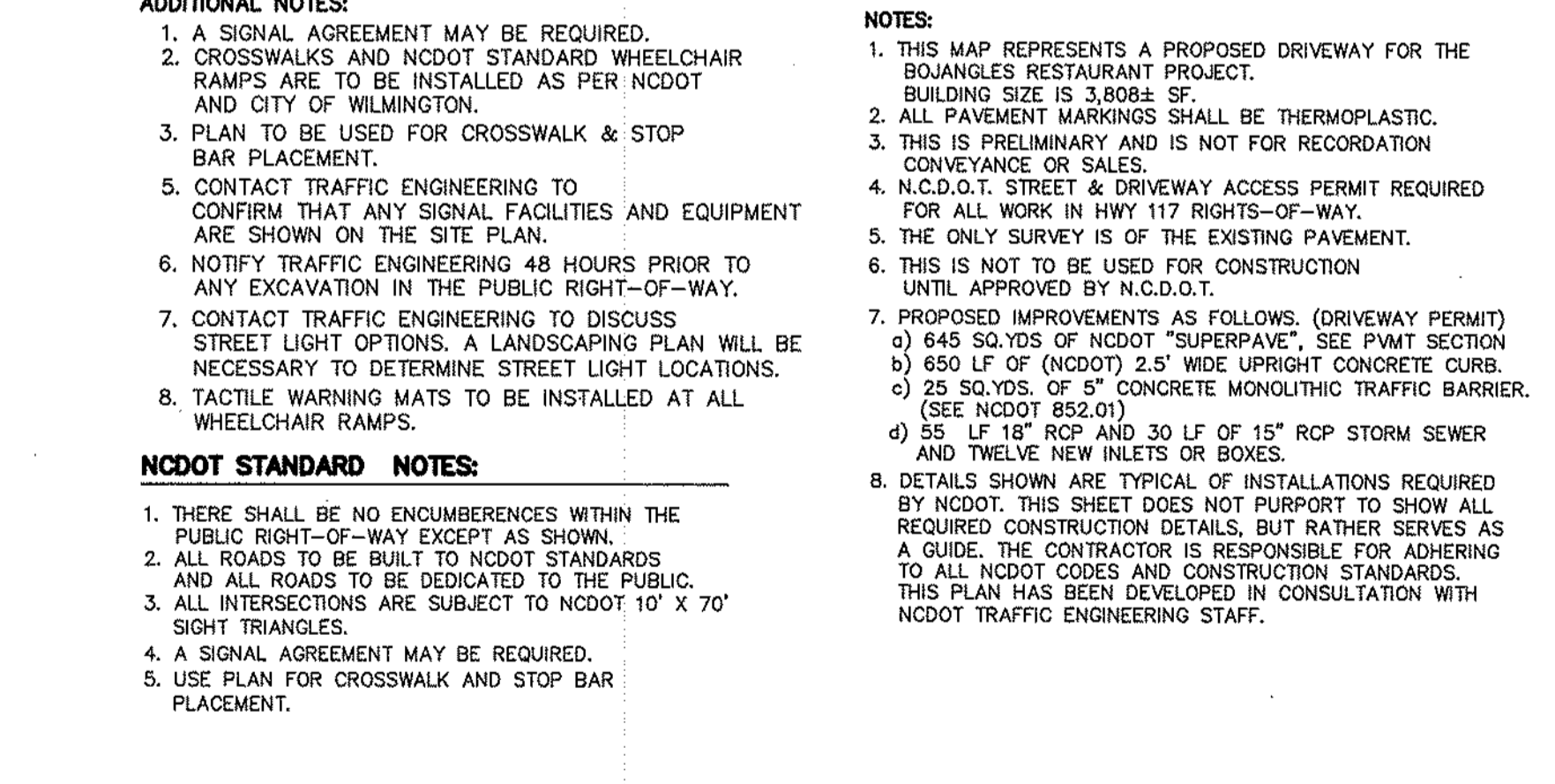
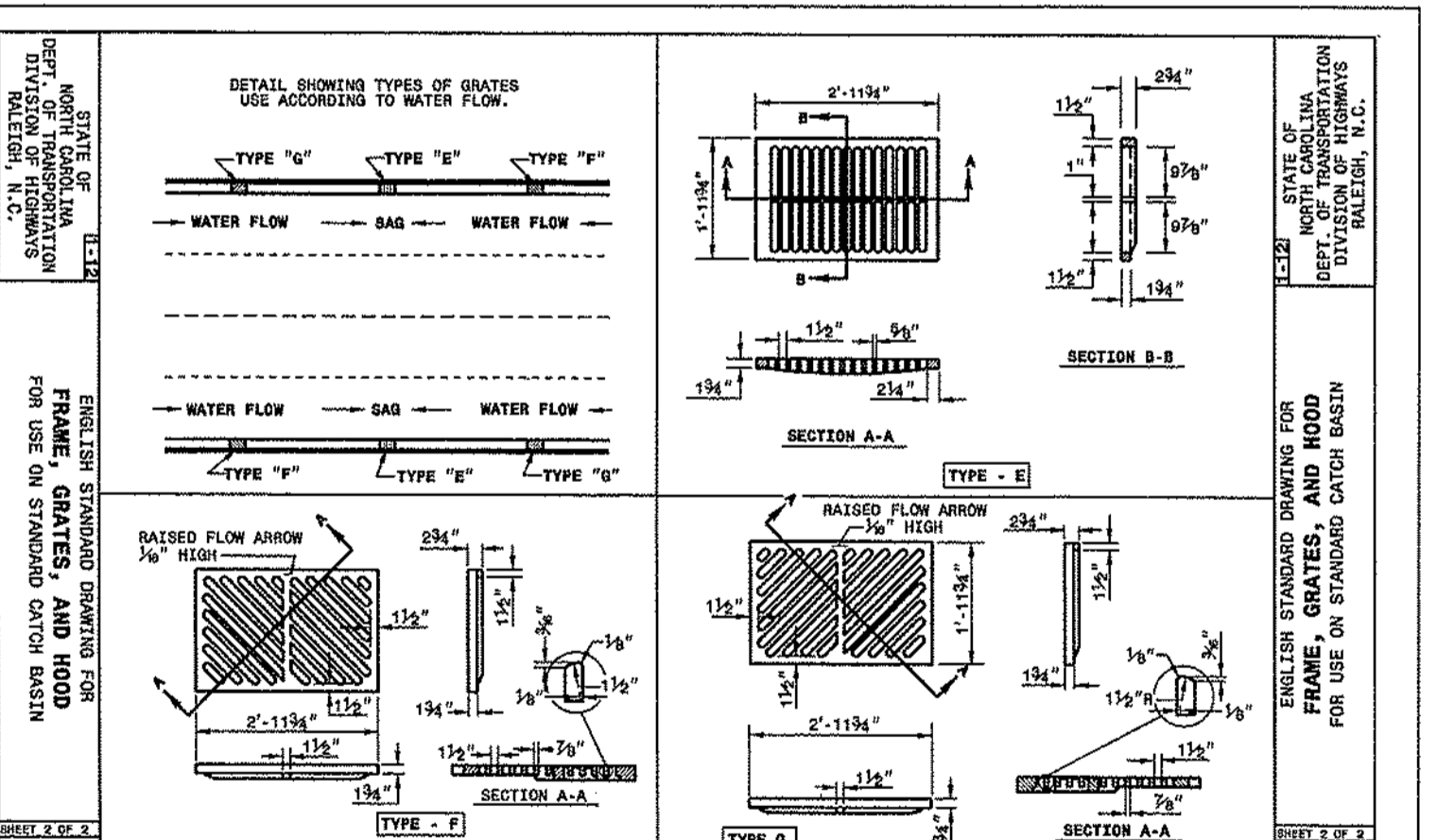
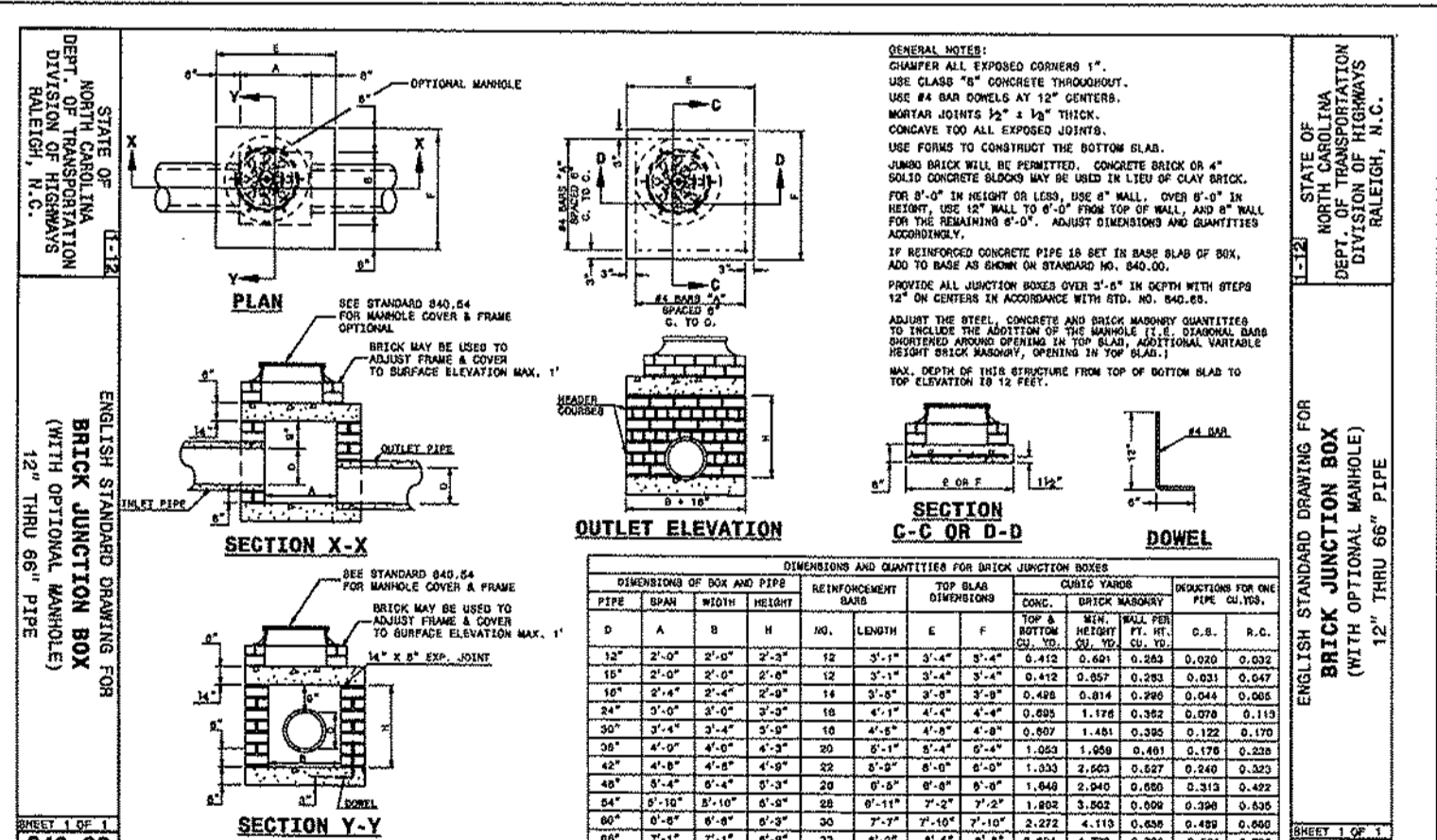
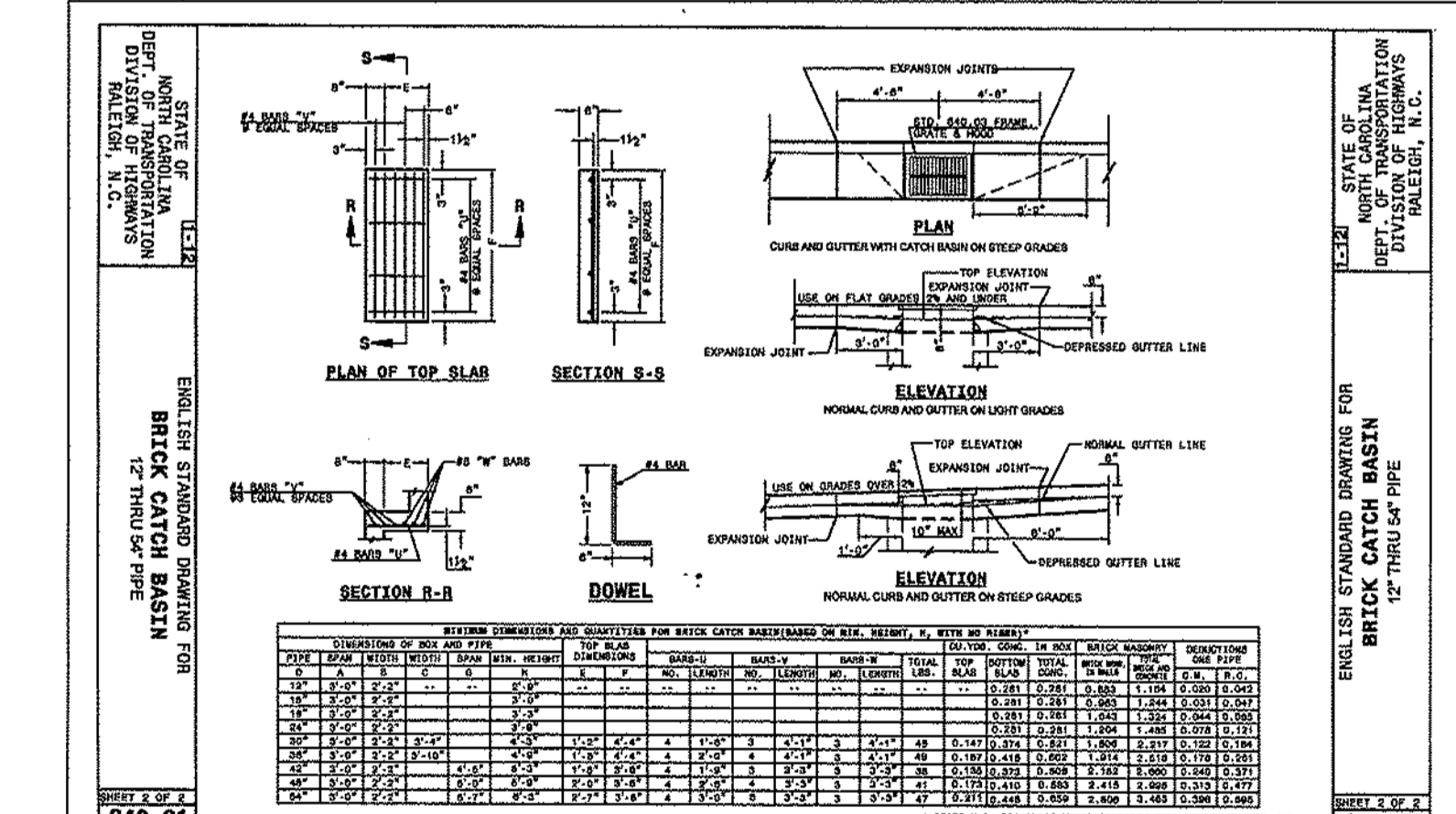
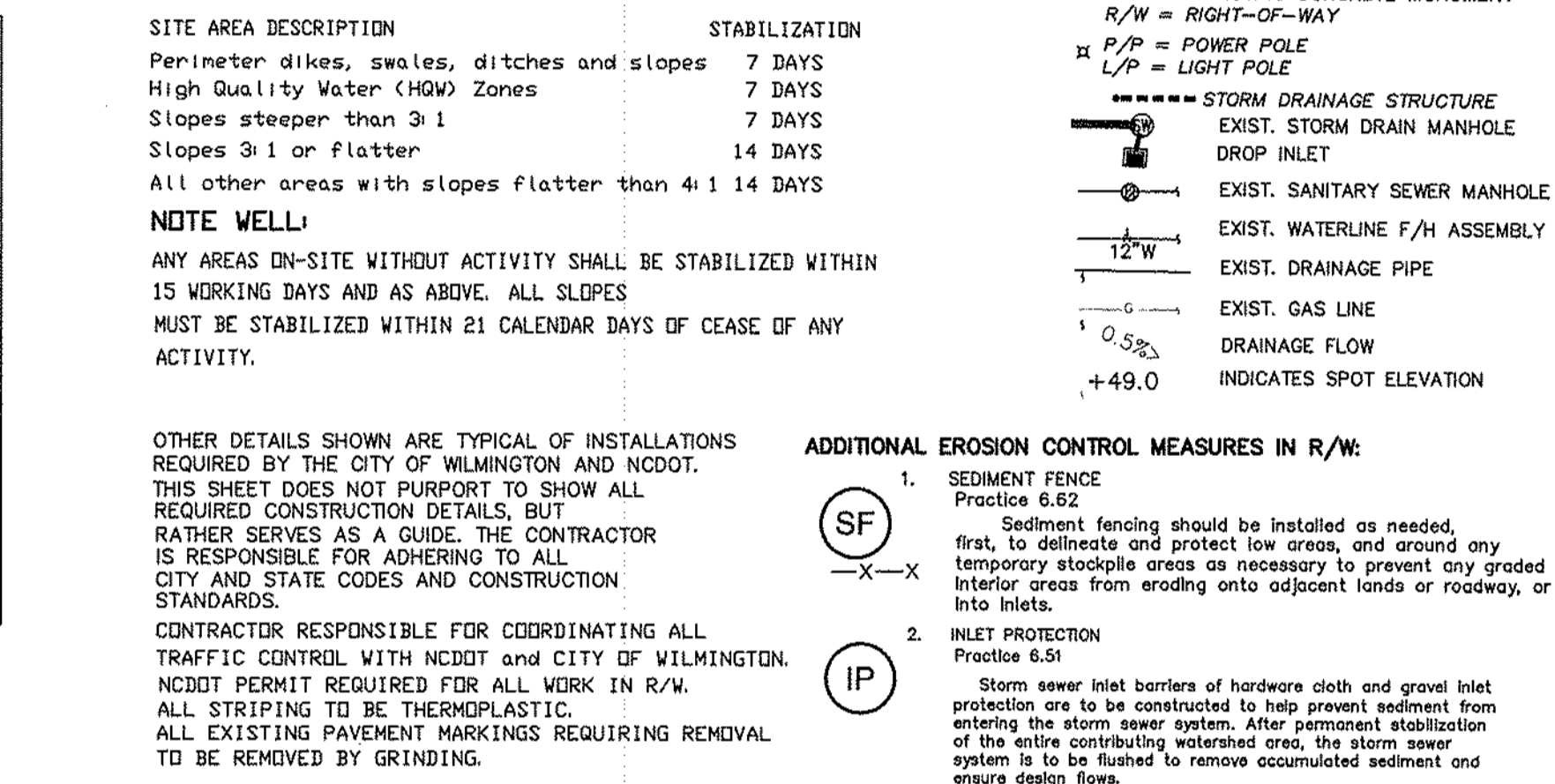
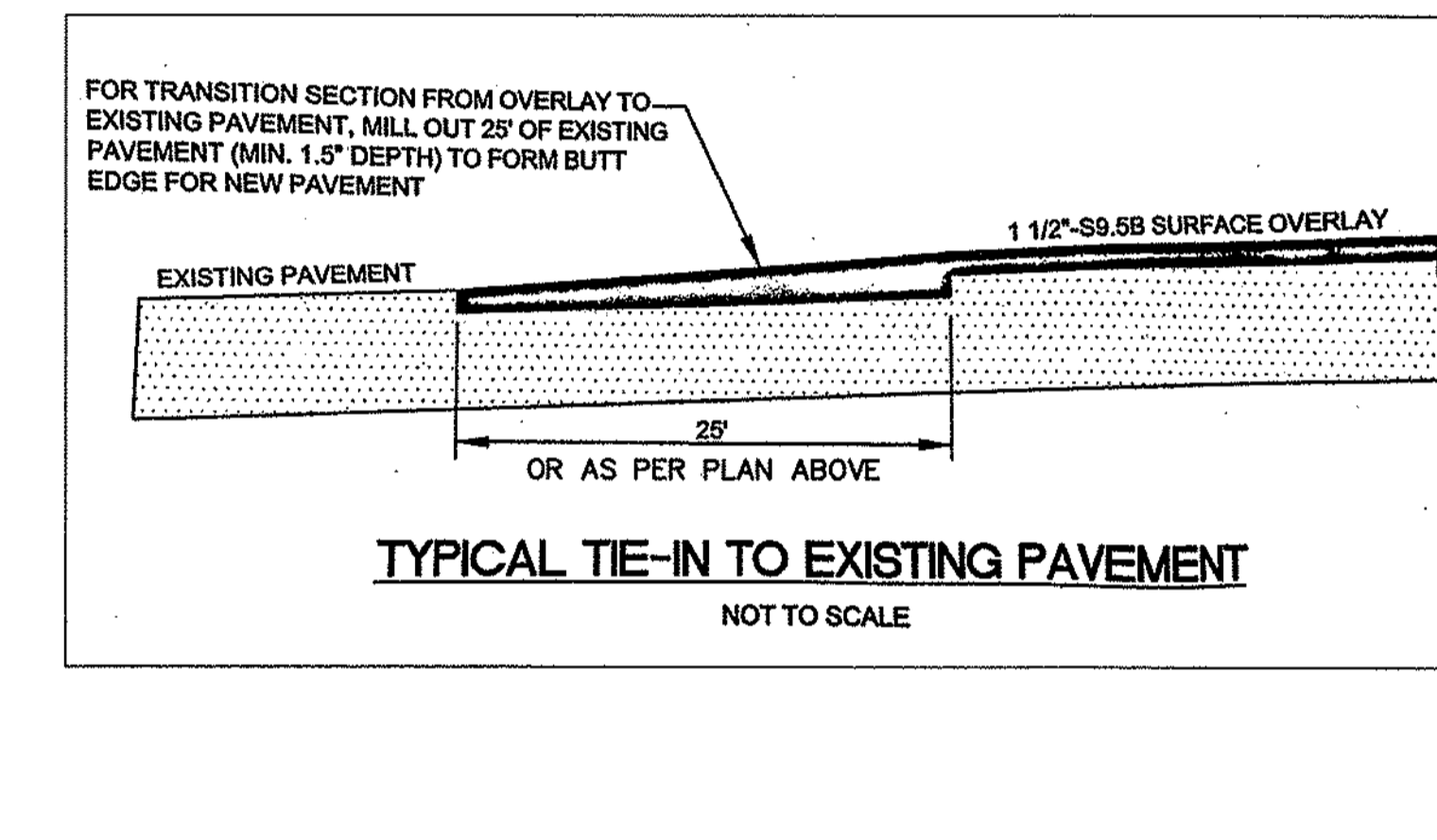
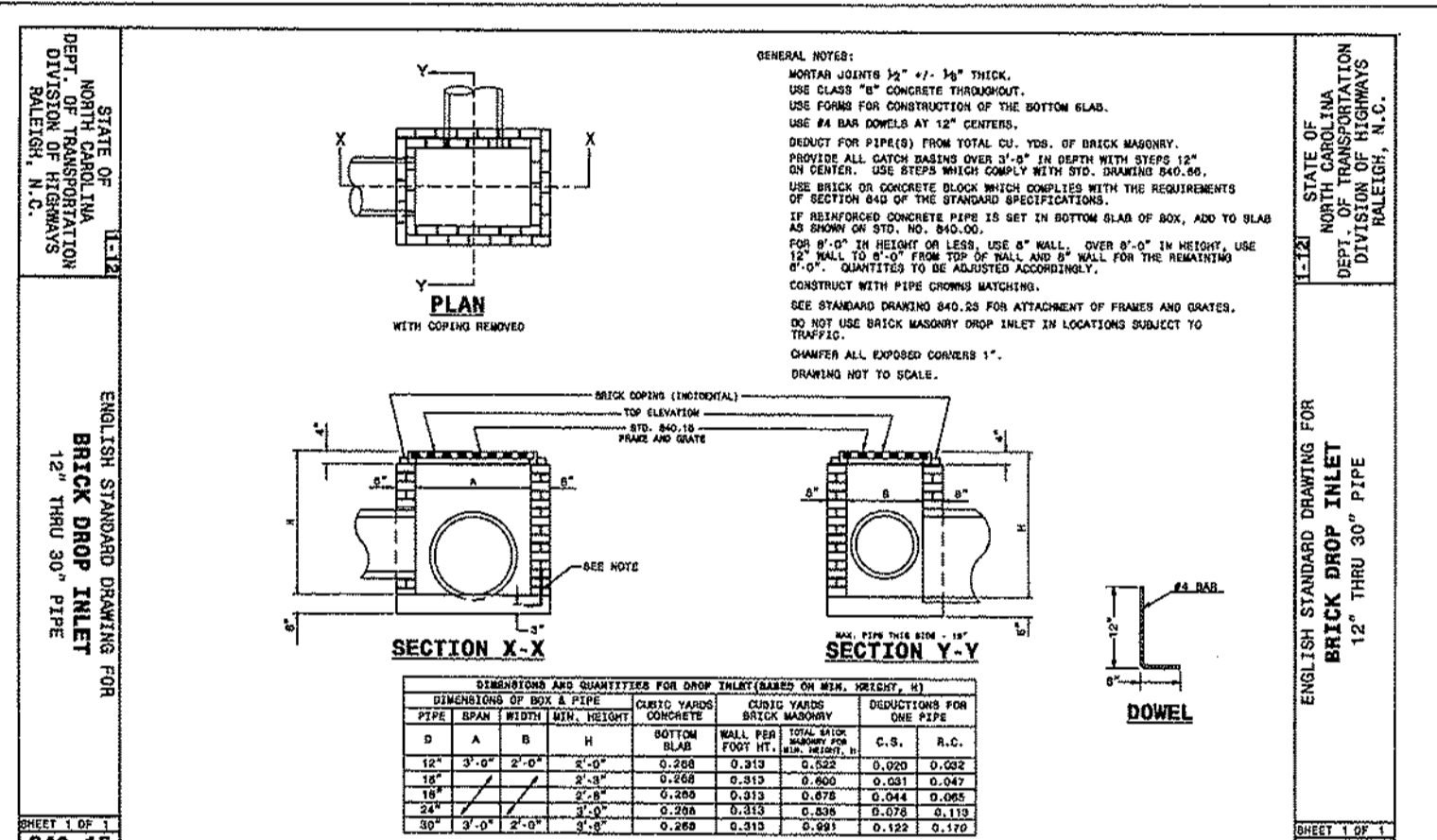
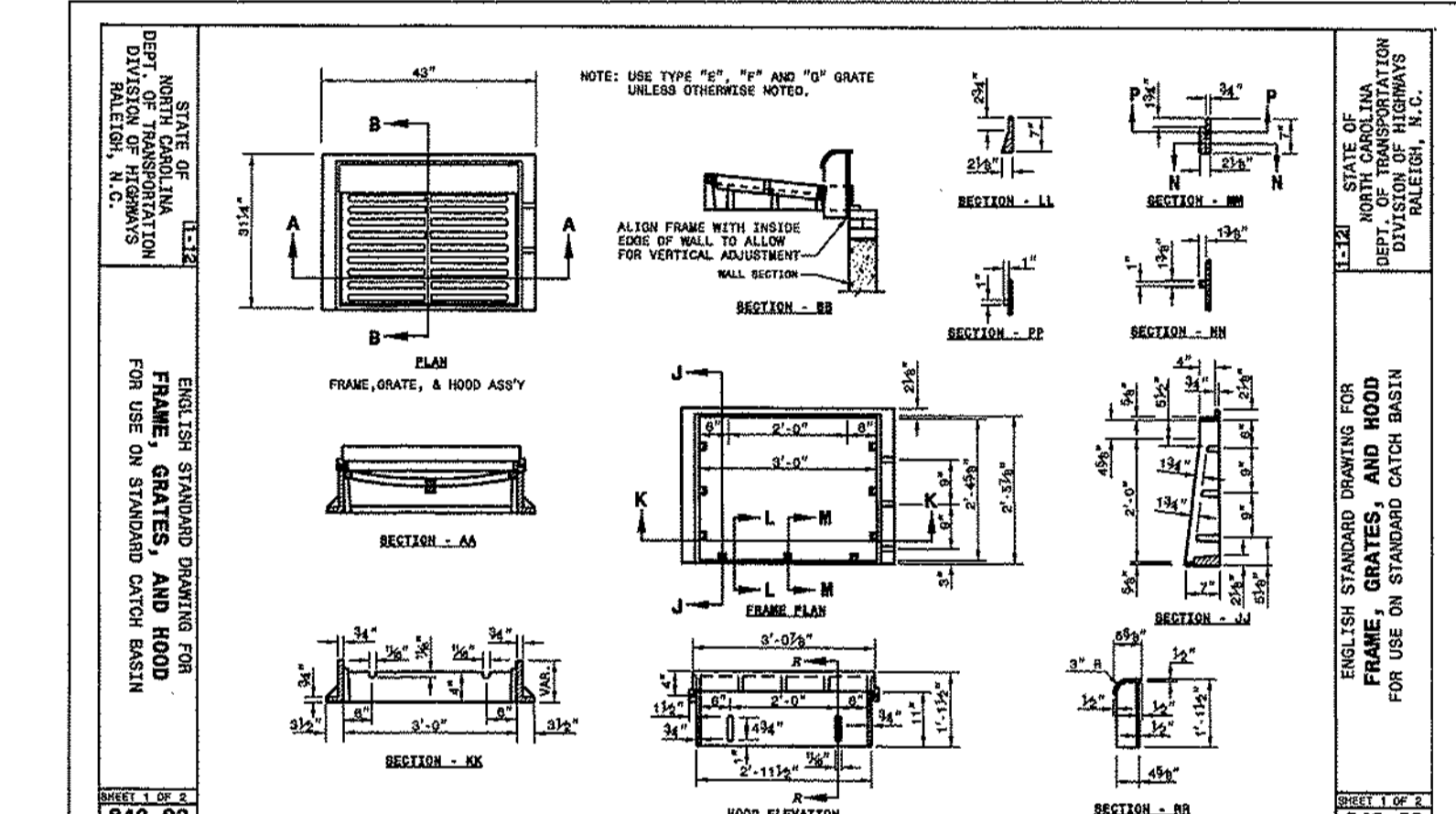
SPOT ELEVATIONS:
41.1+ = PROPOSED ELEV.
41.1X = EXISTING ELEV.

SCALE IN FEET: 1"=20'

SOLID WHITE LINE
EDGE OF PAVEMENT

LEGEND

- STABILIZATION TIME FRAMES:**
- | SITE AREA DESCRIPTION | STABILIZATION |
|--|---------------|
| Perimeter dikes, swales, ditches and slopes | 7 DAYS |
| High Quality Water (HQW) Zones | 7 DAYS |
| Slopes steeper than 3:1 | 7 DAYS |
| Slopes 3:1 or flatter | 14 DAYS |
| All other areas with slopes flatter than 4:1 | 14 DAYS |
- NOTE WELL:**
ANY AREAS ON-SITE WITHOUT ACTIVITY SHALL BE STABILIZED WITHIN 15 WORKING DAYS AND AS ABOVE. ALL SLOPES MUST BE STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY ACTIVITY.
- OTHER DETAILS SHOWN ARE TYPICAL OF INSTALLATIONS REQUIRED BY THE CITY OF WILMINGTON AND NCDOT. THIS SHEET DOES NOT PURPORT TO SHOW ALL REQUIRED CONSTRUCTION DETAILS, BUT RATHER SERVES AS A GUIDE. THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL CITY AND STATE CODES AND CONSTRUCTION STANDARDS.**
- CONTRACTOR RESPONSIBLE FOR COORDINATING ALL TRAFFIC CONTROL WITH NCDOT AND CITY OF WILMINGTON. NCDOT PERMIT REQUIRED FOR ALL WORK IN R/W. ALL STRIPING TO BE THERMOPLASTIC. ALL EXISTING PAVEMENT MARKINGS REQUIRING REMOVAL TO BE REMOVED BY GRINDING.**
- ADDITIONAL EROSION CONTROL MEASURES IN R/W:**
1. SEDIMENT FENCE Practice 6.52
Sediment fencing should be installed as needed, first, to delineate and protect low areas, and around any temporary stockpile areas as necessary to prevent any graded interior areas from eroding onto adjacent lands or roadway, or into inlets.
 2. INLET PROTECTION Practice 6.51
Storm sewer inlet barriers of hardware cloth and gravel inlet protection are to be constructed to help prevent sediment from entering the storm sewer system. After permanent stabilization of the entire contributing watershed area, the storm sewer system is to be flushed to remove accumulated sediment and ensure design flows.
- INLET PROTECTION ALL INLETS IN R/W AREA.**



ADDITIONAL NOTES:

1. A SIGNAL AGREEMENT MAY BE REQUIRED.
2. CROSSWALKS AND NCDOT STANDARD WHEELCHAIR RAMPS ARE TO BE INSTALLED AS PER NCDOT AND CITY OF WILMINGTON.
3. PLAN TO BE USED FOR CROSSWALK & STOP BAR PLACEMENT.
5. CONTACT TRAFFIC ENGINEERING TO CONFIRM THAT ANY SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE SITE PLAN.
6. NOTIFY TRAFFIC ENGINEERING 48 HOURS PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY.
7. CONTACT TRAFFIC ENGINEERING TO DISCUSS STREET LIGHT OPTIONS. A LANDSCAPING PLAN WILL BE NECESSARY TO DETERMINE STREET LIGHT LOCATIONS.
8. TACTILE WARNING MATS TO BE INSTALLED AT ALL WHEELCHAIR RAMPS.

NCDOT STANDARD NOTES:

1. THERE SHALL BE NO ENCUMBRANCES WITHIN THE PUBLIC RIGHT-OF-WAY EXCEPT AS SHOWN.
2. ALL ROADS TO BE BUILT TO NCDOT STANDARDS AND ALL ROADS TO BE DEDICATED TO THE PUBLIC.
3. ALL INTERSECTIONS ARE SUBJECT TO NCDOT 10' X 70' SIGHT TRIANGLES.
4. A SIGNAL AGREEMENT MAY BE REQUIRED.
5. USE PLAN FOR CROSSWALK AND STOP BAR PLACEMENT.

NOTES:

1. THIS MAP REPRESENTS A PROPOSED DRIVEWAY FOR THE BOJANGLES RESTAURANT PROJECT. BUILDING SIZE IS 3,808± SF.
2. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC.
3. THIS IS PRELIMINARY AND IS NOT FOR RECORDATION CONVEYANCE OR SALES.
4. N.C.D.O.T. STREET & DRIVEWAY ACCESS PERMIT REQUIRED FOR ALL WORK IN HWY 117 RIGHTS-OF-WAY.
5. THE ONLY SURVEY IS OF THE EXISTING PAVEMENT.
6. THIS IS NOT TO BE USED FOR CONSTRUCTION UNTIL APPROVED BY N.C.D.O.T.
7. PROPOSED IMPROVEMENTS AS FOLLOWS: (DRIVEWAY PERMIT)
 - a) 645 SQ.YDS OF NCDOT "SUPERPAVE", SEE PWMT SECTION b)
 - b) 650 LF OF (NCDOT) 2.5" WIDE UPRIGHT CONCRETE CURB.
 - c) 25 SQ.YDS. OF 5" CONCRETE MONOLITHIC TRAFFIC BARRIER. (SEE NCDOT 852.01)
 - d) 55 LF 18" RCP AND 30 LF OF 15" RCP STORM SEWER AND TWELVE NEW INLETS OR BOXES.
8. DETAILS SHOWN ARE TYPICAL OF INSTALLATIONS REQUIRED BY NCDOT. THIS SHEET DOES NOT PURPORT TO SHOW ALL REQUIRED CONSTRUCTION DETAILS, BUT RATHER SERVES AS A GUIDE. THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL NCDOT CODES AND CONSTRUCTION STANDARDS. THIS PLAN HAS BEEN DEVELOPED IN CONSULTATION WITH NCDOT TRAFFIC ENGINEERING STAFF.

REVISIONS:

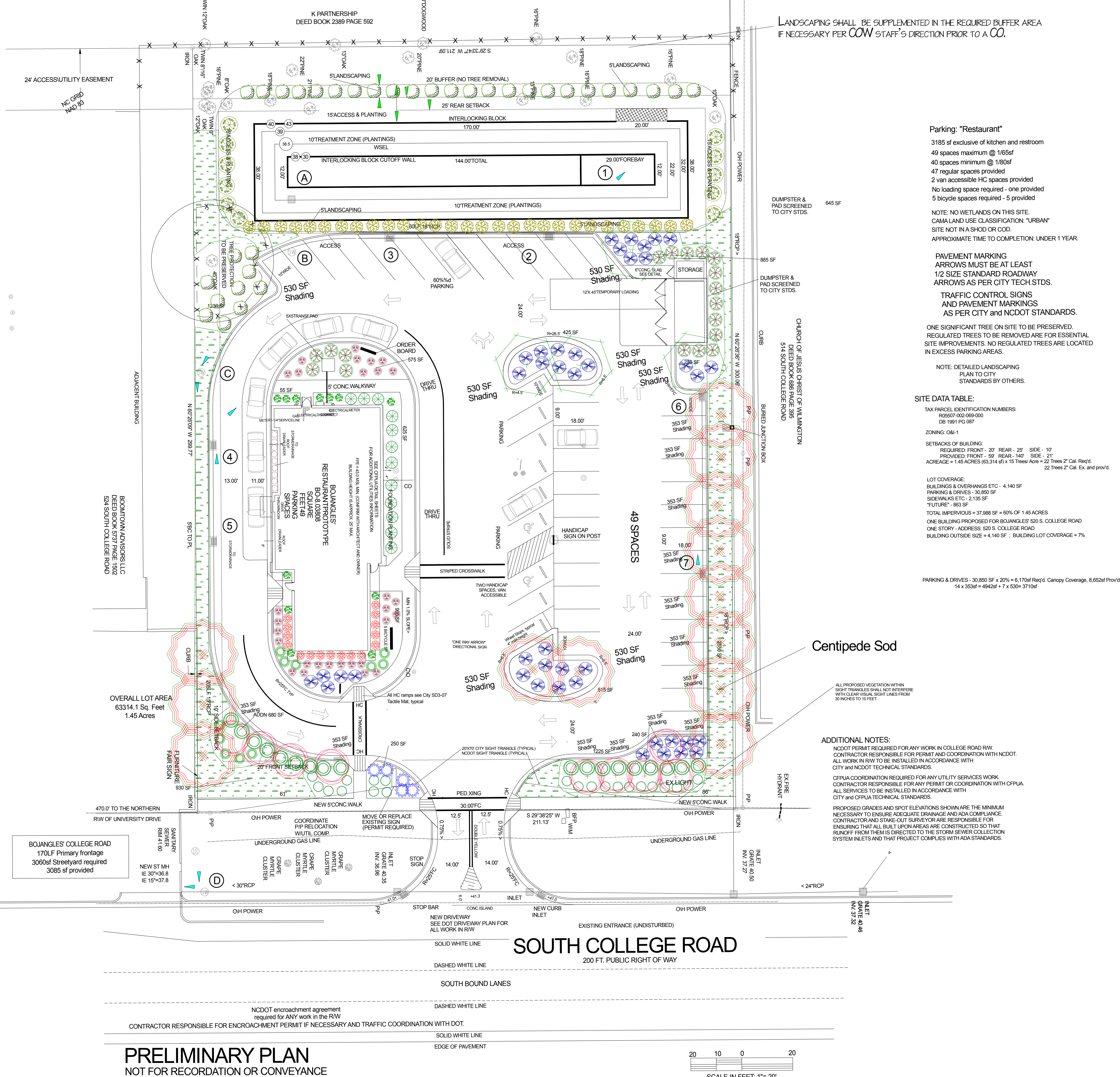
REV. NO.	REVISIONS	DATE
2	MAJOR REVISION AS PER REVIEW COMMENTS TO RIGHT-IN ONLY LANE	10-09-15
1	REVISED AS PER REVIEW COMMENTS	9-15-15

BOJANGLES' 520 South College Road
SMITHVILLE TOWNSHIP
NEW HANOVER COUNTY, NORTH CAROLINA

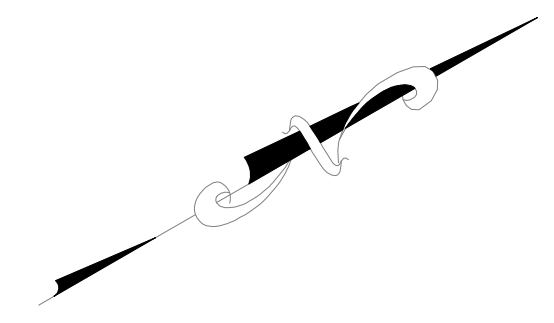
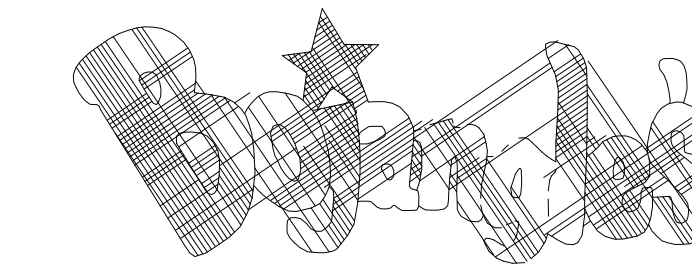
DEVELOPER: BOJANGLES' RESTAURANTS INC.
9432 SOUTHERN PINE BLVD.
CHARLOTTE, NC 28273 phone: 704-940-8669

HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS, ENGINEERS & LAND PLANNERS
1123 FLORAL PARKWAY
WILMINGTON, N.C. 28403
PHONE: (910) 343-8002
LICENSE # C-0597

Scale: 1"=20'
Date: 7-06-15
Drawn: DSH
Checked: DSH
Project No: 12354
Sheet No: 2
Of: 2



LANDSCAPING SHALL BE SUPPLEMENTED IN THE REQUIRED BUFFER AREA IF NECESSARY PER COW STAFF'S DIRECTION PRIOR TO A CO.



LANDSCAPING SHALL BE COMPLETE BEFORE ISSUANCE OF A CO.

A rain/freeze sensor shall be used if there is an irrigation system.

USING THE CREATIVE STANDARD OF THE CODE 50% OF THE STREET YARDS SHALL BE PLANTED AS CALLED OUT.

Parking: "Restaurant"
 3185 sf exclusive of kitchen and restroom
 49 spaces maximum @ 1/65sf
 40 spaces minimum @ 1/80sf
 47 regular spaces provided
 2 van accessible HC spaces provided
 No loading space required - one provided
 5 bicycle spaces required - 5 provided

NOTE: NO WETLANDS ON THIS SITE.
 CAMELAND USE CLASSIFICATION: "URBAN"
 SITE NOT IN A SHOD OR COD.
 APPROXIMATE TIME TO COMPLETION: UNDER 1 YEAR.

PAVEMENT MARKING
 ARROWS MUST BE AT LEAST 1/2 SIZE STANDARD ROADWAY ARROWS AS PER CITY TECH STDS.

TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS AS PER CITY AND NCDOT STANDARDS.

ONE SIGNIFICANT TREE ON SITE TO BE PRESERVED. REGULATED TREES TO BE REMOVED ARE FOR ESSENTIAL SITE IMPROVEMENTS. NO REGULATED TREES ARE LOCATED IN EXCESS PARKING AREAS.

NOTE: DETAILED LANDSCAPING PLAN TO CITY STANDARDS BY OTHERS.

SITE DATA TABLE:
 TAX PARCEL IDENTIFICATION NUMBERS:
 R0567-002-069-000
 DB 1991 PG 087

ZONING: O&I-1

SETBACKS OF BUILDING:
 REQUIRED FRONT - 20' REAR - 25' SIDE - 10'
 PROVIDED FRONT - 50' REAR - 140' SIDE - 21'
 ACREAGE = 1.45 ACRES (63,314 sf) x 15 Trees/Acre = 22 Trees 2" Cal. Req'd.
 22 Trees 2" Cal. Ex. and prov'd.

LOT COVERAGE:
 BUILDINGS & OVERHANGS ETC. - 4,140 SF
 PARKING & DRIVES - 30,850 SF
 SIDEWALKS ETC. - 2,136 SF
 "FUTURE" - 865 SF

TOTAL IMPERVIOUS = 37,988 SF = 60% OF 1.45 ACRES
 ONE BUILDING PROPOSED FOR BOJANGLES' 520 S. COLLEGE ROAD
 ONE STORY - ADDRESS: 520 S. COLLEGE ROAD
 BUILDING OUTSIDE SIZE = 4,140 SF ; BUILDING LOT COVERAGE = 7%

PARKING & DRIVES - 30,850 SF x 20% = 6,170sf Req'd. Canopy Coverage, 8,652sf Prov'd.
 14 x 353sf = 4942sf + 7 x 530 = 3710sf

Legend			
Common Name	Size	Qty	
Allee Elm	2.5" Cal., 10'ht.	4	
Boxwood Hedge, Wintergreen	3 Gal.	16	12" Ht.
Pittosporum Compacta	3 Gal.	12	12" Ht.
Camellia Sasanqua Yuletide	3 Gal.	11	12" Ht.
Crape Myrtle Tuscarora	2.5" Cal., 8'ht.	9	
Azalea Formosa	3 Gal.	34	18" Ht.
Japanese Yew	7 Gal.	29	36" Ht.
Juniper Parsoni	3 Gal.	50	12" Ht.
Ligustrum, Variegated	7 Gal.	13	33" Ht.
Nandina Gulfstream	3 Gal.	9	18" Ht.
European Hornbeam	3" Cal., 10'ht.	13	
Drift Rose	3 Gal.	5	Groundcover
Breeze Grass	3 Gal.	29	12" Ht.
Knockout Rose, Dbl. Red	3 Gal.	11	18" Ht.
Dwarf Yaupon Holly	3 Gal.	21	12" Ht.
Wax Myrtle	3 Gal.	11	30" Ht.
Needlepoint Holly	7 Gal.	18	36" Ht.

S. College Rd. Primary Streetyard:	per Creative Code:	Provided:
211lf - 25lf Drwy. = 186 x 18'w = 3348sf Req'd. landscape	1674sf	
3 understory trees per 600sf = 17 trees	9	9
6 shrubs per 600sf = 33 shrubs	17	43

Centipede Sod SY 585
 Brown-Dyed Mulch CY 70
 Wetlands Plants, 6 rows, 2'oc, 3 varieties 4" pot 1089

Quantities listed are for convenience only. Landscape Contractor responsible for actual quantities.

The areas within the triangular sight distance shall be maintained free of all obstructions between 30" and 10'.

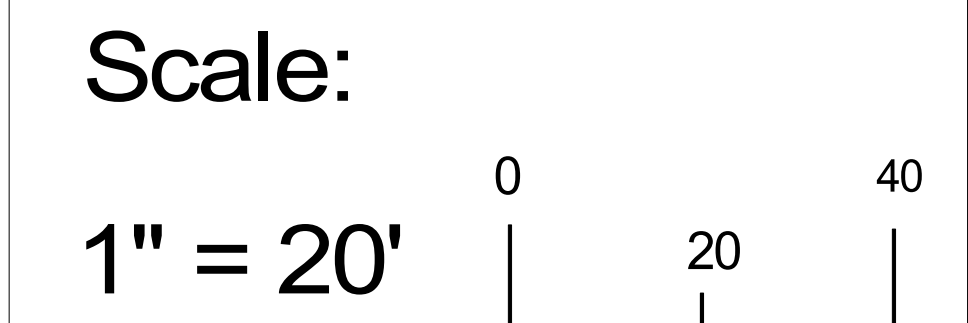
Prior to any clearing, grading or construction activity, tree protection fencing will be installed around protected trees or groves of trees. No construction workers, tools, materials or vehicles are permitted within the tree protection fencing.

Date Drawn: 3-30-15
 Revision #1 8-12-15
 Revision #2
 Revision #3

All planted and retained living material required to meet the provisions of the City of Wilmington Land Development Code, shall be perpetually protected and maintained to professionally accepted standards by joint and several responsibility of the owner, tenant and respective agents of the property on which the material is located.

Revision #: 2

Date: 9/14/2015



Landscape Plan:
Bojangles

Landscape Design by: James Freeman - NCLC# 71
Freeman Landscape, Inc.



MEMORANDUM

To: *Jeff Walton, Development Services, City of Wilmington, Project Manager*
Beth Wetherill, New Hanover County Engineering
Allen Hancock, NCDOT

Re: *Bojangles' 520 South College Road*
Response to review comments

From: *David S. Hollis, PE, PLS, Hanover Design Services PA*

Date: *10-09-15*

Copy: *Lee Bakely, Bojangles' Restaurants Inc.*
Greg Wayne, PLS, Hanover Design Services PA

In response to the review comments, please find the attached revised site plans:

City comments –

Jeff Walton:

- Thanks for the tree permit. My understanding is that the developer will pay the \$5,600 tree mitigation fee directly prior to CO.

Bill McDow:

- The DOT driveway plan has been extensively modified to reflect a right-in only lane in coordination with DOT staff.
- I added a bollard to the dumpster plan as requested, although this design has been used successfully in Bojangles' dumpsters all over the State without that addition.
- I added 2' to the parking space you were concerned with.

Rob Gordon:

- I revised the application to reflect the plan BUA amounts (attached).
- I used another font on the pipe schedule to get better column line-up.
- Changed the invert on 4 as indicated.
- Noted that the drawdown pipe to be extended and anchored as we discussed.
- The existing grades on our lot didn't drain the area of your concern on the adjacent Furniture Fair lot *prior* to our putting the drive-thru lane in, although you are correct that we will be some 1.6' higher than current. This area is pretty flat but drains to the rear, and relief should be in that direction before any impacts on buildings occur. I am copying the developer on your concerns.

Page 2

New Hanover County Engineering –

Beth Wetherill:

- I believe we addressed your concerns with the last submittal, but I'm copying you on the major change to the driveway. I changed LOD as indicated but am still reporting 0.6 acre *or less*.

NCDOT –

Allen Hancock:

- I believe I have modified the driveway plans as per our phone discussion, and I hope this revised plan will allow you to finish processing the driveway permit. Let me know what else I can do to assist you in your efforts.

I trust that this response and the attached revised plans and drawings will allow you to complete the review process. Thanks.